

# OMAN SCHOOL SITE REDEVELOPMENT PLAN



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## 1. INTRODUCTION

### 1.1 Background

The Oman School was constructed in 1914 following the donation of the land to the City of Swift Current by John Oman. The school operated for nearly a century until the decision was made by the Chinook School Division to decommission the facility in 2014. This decision was made as part of a broader consolidation of educational facilities in the city and followed the construction of new schools in Swift Current. Ownership of the property was subsequently transferred to the City to enable consideration of redevelopment.

### 1.2 Site Context

The former school site is situated along 6th Avenue SE near the Chinook Golf Course in the south end of Swift Current (See Map 1). The property comprises approximately 2.83 hectares and includes the following legal parcels:

- Block / Parcel C, Plan#101396729 Ext. 5, owned by the City, sized at 2.02 hectares; and
- Block / Parcel B, Plan#101396718 Ext. 4, owned by the City, sized at 0.81 hectares.



Map 1 - Plan Area Location

### 1.3 Project Vision and Design Objectives

The vision for this site was established through a multi-tiered public and stakeholder engagement with consideration of the goals and objectives represented in the City's statutory plans and studies.

The decommissioning of the Oman School provides an opportunity for supporting residential infill development on the property as an alternative to greenfield suburban housing development in the newer peripheral neighbourhoods of Swift Current. The introduction of low density residential development within this area provides the public with the the opportunity of new housing construction within a mature, well established neighbourhood. Recognizing the importance of this area in providing outdoor recreational opportunities, the redevelopment of the site seeks to retain and enhance park space to support impromptu informal outdoor recreational pursuits to meet the needs of current and future residents.

The overall vision of the Oman School Site Redevelopment Plan is best described by the following design objectives:

- To redevelop a portion of the school site for residential purposes.
- To maintain recreational park space for active and passive recreational opportunities.
- To maintain housing types and styles that are consistent with the adjacent community.
- To integrate a network of trails through the open space area which provides connectivity to the Chinook Parkway.
- To provide a transitional space between the planned residential houses and the higher elevation houses along the southern boundary.
- To create an internal park space that is visible by individuals passing through the area.
- To develop a multi-functional park space providing a wide range of activities for guests to enjoy.
- To provide a commemorative feature highlighting the Oman Family.

## 2. POLICY CONTEXT

Development in Swift Current is guided by several statutory and non-statutory plans. Concept plans are required to consider the direction and align with the policies and regulations represented in the documents listed below.

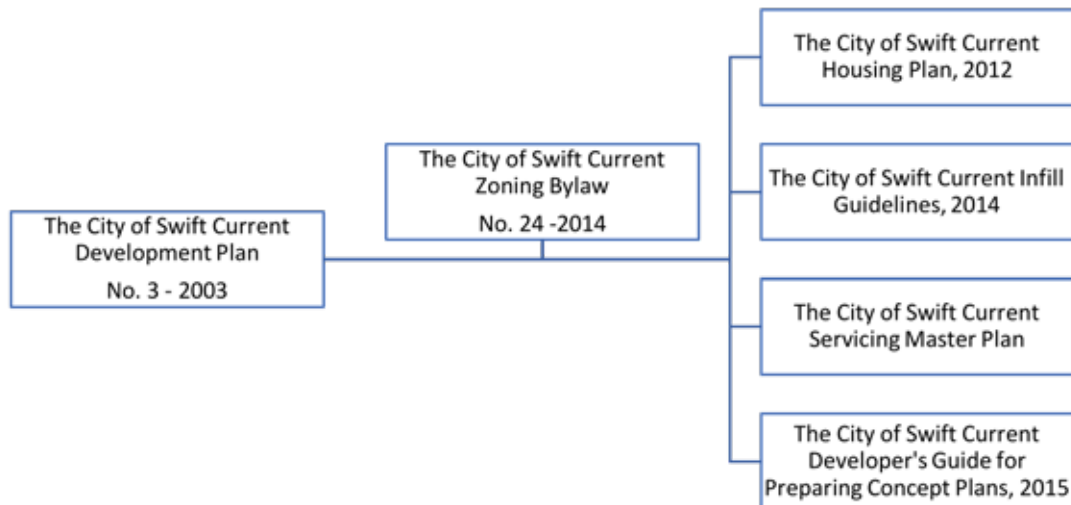


Figure 1 - Policy Documents Hierarchy

### 2.1 City of Swift Current Development Plan

The City of Swift Current Development Plan No. 3 – 2003 (DP) is the overarching policy document guiding the orderly development of lands within the city. It contains goals, objectives, and policies which need to be considered in the redevelopment of a site. The following key policies have been considered in the development of this plan:

#### 1.7 Emerging Trends Affecting the Plan

Declining average family and household sizes combined with the continued expansion of the City's population has created increased demand for new housing.

#### Section 3 Development Pattern.

The Development Plan promotes the need to encourage compact forms of development which makes efficient use of municipal infrastructure. This is intended to be accomplished through the establishment of density targets, supporting infill development and ensuring that development takes place in a contiguous manner considering the logical extension of municipal services.

### Section 5 Residential Development.

The residential development policies prioritizes the need to support the provision of an adequate and affordable supply of housing in order to meet projected population growth and to satisfy the diverse needs resulting from changing community demographics.

This is accomplished by:

- Ensuring that residential development occurs in an orderly manner.
- Ensuring that there is a sufficient supply of serviced land available for the expansion of the City's housing stock.
- Supporting a variety of forms of housing, lots sizes and housing tenureship (ownership/rental).
- Utilizing infill development to increase the accessibility of new housing in established neighborhoods.

## 2.2 City of Swift Current Housing Plan

The City of Swift Current Housing Plan was completed to gain an understanding of the City's current housing situation and develop targeted housing strategies. It promotes the supply of housing across the housing continuum which includes subsidized housing, near market housing and market housing.

The Housing Plan:

- Forecasts housing needs across the continuum for the next 15 years
- Identifies housing priorities and targets and strategies to meet these priorities and targets
- Considers housing in surrounding municipalities
- Identifies measures for determining success and how progress will be reported

At the time of this publication, the City was updating its Development Plan which included updated population projections based upon the most recent Ministry of Health Covered Population Report. The Covered Population Report indicates a six-year growth rate of 1.5% annually. For the purposes of updating the DP policies and estimating population growth and associated land requirements for the next 25 years, the City has chosen to use a growth rate ranging between 2.5% and 3.5% annually. Assuming that the average household size in Swift Current remains at 2.5 persons per household, the most recent projections suggest there will demand for an additional 2,318 - 3,284 new dwelling units by the year 2025 with this total increasing to between 6,563 and 10,330 units by 2040.

Within the Housing Plan, a shortage in apartments, town homes, and smaller homes was identified. An increase in rental prices has resulted in an increased demand for homeownership and the demand for starter homes. The Housing Plan also suggests that seniors are looking to remain in their own homes but to down-size.



The following recommendations were considered from the Housing Plan in the preparation of the land use concept plan:

- To ensure a sufficient supply of affordable and entry-level housing.
- To support a mixture of housing products.
- To support development that targets specific demographics including first time home owners and support for senior populations.

## 2.3 City of Swift Current Infill Guidelines

The City of Swift Current Infill Guidelines is a companion document to the Housing Plan and provides a framework to guide the development of infill sites. The Infill Guidelines provide objectives and guiding policy statements related to the design and development of infill sites. The following key objectives and guiding policy statements were taken from the Infill Guidelines for consideration of the preparation of the land use concept plan.

Neighbourhood focused objectives:

- To maintain a balanced mix of housing types and density in mature areas.
- To preserve the mature trees on the site, if possible, and trees that are removed in favour of development should be replaced by other landscaping, at the discretion of the Parks Manager.
- To protect the stability of single family areas.
- To develop animated and secure public streets and open spaces.
- To minimize vehicular traffic and parking impacts that may result from intensification.
- To secure improvements to the existing mature areas of infrastructure as part of redevelopment.
- To provide additional housing opportunities.

Based on the application of the City's Infill Guidelines, the school site is considered a large-scale infill development and should comply with the infill guidelines goals and objectives for large scale development sites.

City wide objectives:

- To contribute to the creation of livable mature areas through residential infill.
- To strive to secure community support and acceptance for residential intensification in mature areas.
- To make more efficient use of existing infrastructure and community facilities.
- To contribute to the physical renewal of older neighbourhoods.
- To achieve housing forms that contribute in the long term.

## 2.4 City of Swift Current Zoning Bylaw

The City of Swift Current Zoning Bylaw is the regulatory companion to the City's DP providing specific regulations and standards to support the implementation of the Development Plan policies. The introduction of single family housing on the Oman site will require the site

to be rezoned to a residential district that aligns with the intended form of housing prior to consideration of any subdivision.

### **2.5 City of Swift Current Servicing Master Plan**

The City of Swift Current Servicing Master Plan assesses the current capacities for core infrastructure systems throughout the city.

### **2.6 City of Swift Current Developer's Guide for Preparing Concept Plans**

The Developer's Guide for Preparing Concept Plans is a tool created to assist in navigating the City's land development process. This plan has been prepared in compliance with the guide.

### 3. SITE INVENTORY AND ANALYSIS

#### 3.1 Existing Site Features and Topography

The physical features on the development site consist of:

- a swing set near the middle of the site; and
- five tot sizes baseball back stops.

The site is fully enclosed by a chain link fence along the west, north, and east boundaries. The southern boundary of the site includes a mixture of chain link and wood fencing extending along the adjacent residential lots. There are four openings in all four corners of the perimeter fence providing access to the former school yard. These openings coincide with existing cross-walks on abutting streets.

Although the site does not contain a constructed path system, there are several informal dirt paths within the property which demonstrate the primary means of navigation in the area. These informal pathways extend along the west side of the site adjacent to 4th Ave SE. A second informal pathway extends along the southern boundary of the site between 6th Avenue SE and 4th Avenue SE. With the exception of 4th Avenue SE, the abutting streets all include an integrated sidewalk.

Existing vegetation on the site is focused in the southeast corner of the property in the vicinity of the former school building and playground area extending along 6th Avenue SE. There are several mature trees situated along the southern boundary of the site near the existing residential lots.

The site is relatively flat and predominantly grass surfaced. The site grades from south to north and a culvert has been installed within the site at the mid-block of Aberdeen Street where it appears vehicle access was previously provided to the site.

#### 3.2 Adjacent Land Uses

Development immediately surrounding the site is exclusively single-detached dwellings. Higher density multi-family sites are present within the broader vicinity. Housing along the perimeter of the site is diverse in terms of style and age. Housing along Aberdeen Street is comprised of wartime houses dating back to the 1950s. 4th Avenue SE features conventional bungalows constructed in the 1970s whereas lands to the south include modern homes developed in the past 20 years. New housing construction is occurring along 6th Avenue SE across from the southeast corner of the development property which features modern construction on narrower lots.

The Chinook Golf Course is situated south and east of the site. The Chinook Golf Course is an 18-hole golf course owned and operated by the City.

The Willow Creek Manor is a retirement and assisted living facility and is located east of the plan area.

There are several religious institutions located near the site including the Fairview Bible Church and Alpine Church of God which are located directly adjacent to one another along 2nd Ave SE.

There are several commercial businesses located northwest of the site including a grocery store, convenience store, gas bar, restaurant, upholstery and carpet cleaning business and graphic design business.

West of the plan area includes two recreational facilities. One is the Fairview Pool located approximately 650 metres west of the plan area along Gibbs St SE. The second is the Fairview Arenas which are located approximately 680 metres southwest of the site. These two recreation facilities include the following amenities:

- Fairview Pool – is an outdoor pool with six swim lanes and a wading area.
- Fairview Arenas - includes two regulation sized ice surfaces with integrated spectator seating provided.

Existing parks and open spaces near the site include:

- Chinook Parkway;
- Fairview Schoolyard; and
- Riverside Park.

The Chinook Parkway is a 20 km multi-purpose hard-surface trail that extends along the Swift Current Creek.

The Fairview School is situated approximately 700 metres west of the Oman site and includes the following amenities:

- Soccer pitch;
- Ball diamond;
- Playground equipment;
- Pathway; and
- Open field.

Riverside Park is located a half kilometre north of the Oman site and is one of the City's premiere parks including the following amenities:

- a 400 metre oval track;
- soccer / football field;
- splash pad;
- play structure;
- six tennis courts;
- three pickle ball courts;

- beach volleyball courts;
- an ice cream shack;
- picnic facilities;
- power outlets;
- washrooms; and
- open space.

Figure 3 illustrates the location of the existing adjacent land uses around the Oman School Site plan area.








### 3.3 Heritage and Environmental Resources

There are no designated or known heritage resources within the development site or immediate vicinity. The Swift Current Creek is situated approximately 200 metres east of the site. The creek represents the City's primary water source and serves an important ecological function within the community. Development of the site should seek to maintain public access to this valuable community asset.





**Legend**

Housing Single Family		Parks	
Housing Multi Family		Arterial Roads	
Community Services		Collector Road	
		Commercial	

1. Fairview Swimming Pool
2. Fairview Hockey Arena
3. Orthodontist
4. Alpine Church of God
5. Fairview Bible Church
6. Grocery Store, Convenience Store & Gas Bar
7. Retail Strip (Restaurant, Upholstery & Carpet Cleaning and Graphic Design businesses)
8. St. Joseph Redevelopment Site
9. Greenhouse
10. Willow Creek Manor
11. Maverick School
12. Chinook Golf Course

Figure 3 - Existing Adjacent Land Uses

## 4. CONSULTATION

A multi-tiered approach was taken to public and stakeholder engagement for this project. Engagements and project communications included several stakeholder workshops, an on-line survey, a public open house and regular project updates published on the City's website.

### 4.1 Stakeholder Workshops

Two stakeholder workshop events were hosted over two evenings in March, 2018. Invitations to the events were sent to all property owners situated adjacent to the development site. The events were well attended with 46 registered participants. The events included a brief presentation of background information followed by group break-out sessions where the following questions were discussed. The input received from the events are also reproduced below.

1. How do you use the site in its current form, and how do you witness the site being used? Where can these uses be accommodated in other areas of the city?

- T-ball and Youth baseball
- Dog walking
- Flying kites, drones, and rocket club
- Public gathering/birthdays
- Frisbee

Some additional points of discussion from this question were:

- Other available park spaces in the area are close but still too far away for small kids to venture on their own.
- The informal trail along the southern boundary of the site is used regularly and should be retained.
- The site is currently an eye sore in the summer months due to the lack of irrigation.
- The park is handy for children and highly visible for parents.
- The City, overall, has a potential need for soccer pitches.
- Maverick school is lacking available parking spaces and there is also a need for green space for the school.
- Basketball is available at the Fairview school park; however, residents feel that it is at capacity and more facilities are warranted.
- A sidewalk should be added along the eastern side of 4th Avenue SE to accommodate pedestrian movements.

2. If you could pick one feature of the site to retain that would benefit the community, what feature would that be?

- Greenspace and recognition to the Oman Family.

## ASSOCIATED ENGINEERING

- Basketball courts.
- Informal south side pathway and pathway connections.
- Sufficient open space retained to accommodate a variety of informal outdoor activities including flying kites etc.
- A buffer should be provided between existing residential along the south side of the park and any new development on this site.
- Would like to see some public green space and more vegetation.
- Would like to see less traffic in the area and increased pedestrian safety along 4th Avenue SE.
- Would like to see some hard surface recreational areas to diversify the options for resident recreation.

3. The City's infill guidelines designate infill sites are required to include a housing component. What type of housing is best suited to the present needs of Swift Current, and would compliment and contribute to the betterment of the surrounding area?

- Single-family house
- Neo-traditional house
- Semi-detached house
- Row houses
- Apartment complex for seniors with elevators
- Perimeter housing should be provided

4. How do you feel about current site safety and how might it be enhanced through development?

- Unwanted behavior within the site has been reduced since the demolition of the school building.
- Additional lighting on the site would increase safety.
- Ensuring that park spaces remain visible from the street is important to create a safe place.

In addition to discussion of the above noted topics, the stakeholder groups were also provided an opportunity to prepare sketches representing their interests for the site.





Sketch I



**Key Points:**

- Provide a connecting pathway through the site.
- Would like to see visible and accessible green space.
- Prefer single detached and narrow-lots to be consistent with adjacent area.
- Want to make sure new housing doesn't look into old housing and vice versa.

## Sketch 2



### Key Points:

- There should be a buffer between residential and interior of site.
- Would like to see some public green space and a tree zone and prefer a single detached style of housing product in this area.
- Aspen Drive development area had building requirements.
- May be there is an opportunity to introduce a mixture of housing with seniors and young families.

Sketch 3



**Key Points:**

- Would like to retain green space with recognition to the Oman family.
- Type of residential development preferred is single dwellings that fit the current structure of the area.
- Would like a walking path to connect to open space areas.
- Perimeter housing development around the site is preferred as opposed to internal development.

Sketch 4



Key Points:

- Would like to see a pedestrian connector to Chinook path and a pedestrian connection out to fifth.
- How can we maximize green space? What if we increased density on parts of the site along 6th Avenue SE, could we increase our retention of park space?
- Interested in higher density housing forms such as apartments that are senior focused with elevators.
- A sidewalk along the east side of 4th Avenue SE would be beneficial and may make the site more accessible.

Sketch 5



**Key Points:**

- Would like to retain available green space for uses and provide recognition to the Oman family.
- In regards to safety, lighting should be considered on the site and openness to the park space so it is visible.
- The park space should not be closed off it needs to be visible to the street.
- If developed for residential purposes a wider corridor along southside of the site should be incorporated, perimeter housing should be provided but not whole site, and an opening to the street should be retained.

## Sketch 6



### Key Points:

- The greenspace should be retained as much as possible.
- If a housing choice had to be made, it should be single-family and should blend in with the surrounding area.
- The park should be visible so everyone can enjoy and see it and it should be accessible to everyone.
- Parking places should be considered for the green spaces as this could become an issue with people parking along the street to access and use the greenspace.

Sketch 7



**Key Points:**

- The site is currently an eye sore in the summer as there is no irrigation.
- Would prefer the site to have perimeter housing with nice lots that are attractive to buyers in the City.
- Any planned park space should be visible and not closed.
- Parks space should include a basketball court and a nice place for kids to play.
- Prefer housing planned for the area to be single-family or semi-detached and it should blend into the area.

## 4.2 Online Survey

As a means of broadening public input into the project, a survey was published and hosted on the City’s website over a two week period posing the same questions discussed at the stakeholder workshops. A total of 47 surveys were completed and submitted. The detailed survey results can be reviewed in appendix A. The following figures summarize the results received to some of the questions in the survey:

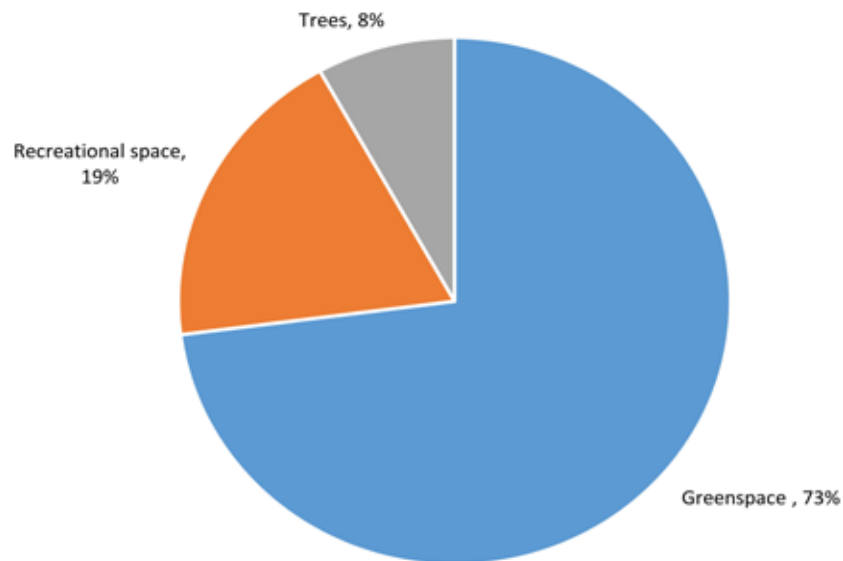
How do you use the site in its current form, and how have you seen the site being used?

Use	Responses
Park/Recreational Space	26
Baseball	15
Basketball	8
Soccer	8
Kite Flying/Frisbee	10
Bike Riding	4
Dog Walking	8
Football	2
Social Gatherings	1

Where can these uses be accommodated in other areas of the city?

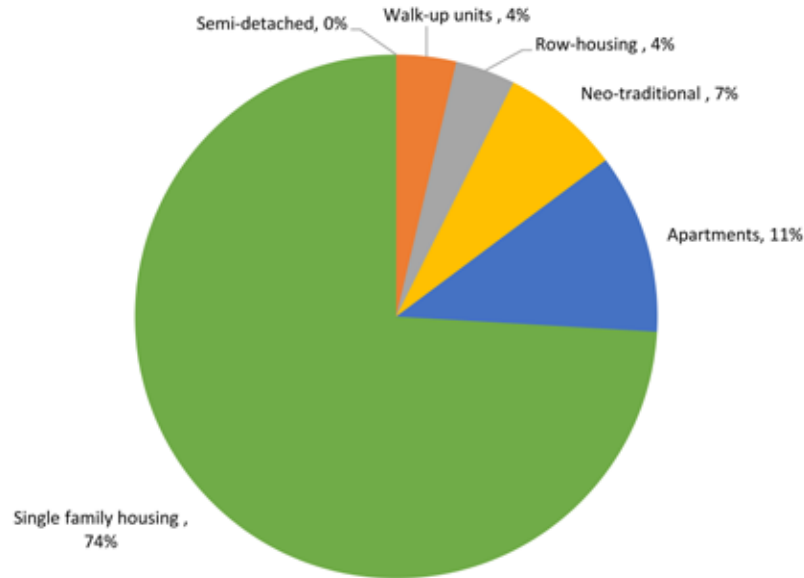
- Riverside Park
- St. Joseph School
- Chinook Pathway
- Fairview
- Southside Park

If you could pick one existing feature of the site to retain that would benefit the community, what would that be?





The City's infill guidelines state that infill sites are required to include a housing component. What type of housing is best suited to present needs of Swift Current, and would complement and contribute to the betterment of the surrounding area?



### 4.3 Public Open House

A public open house was organized and hosted at the Innovation Credit Union I-Plex Auditorium on the evening of August 14th, 2018 for the Oman and Ashley Park School Site Redevelopment projects. The come and go event was well attended with 51 people. It included a series of display boards providing information on the proposed land use concept plans. Members of the consulting team and City administration were present and actively engaged in discussion with event participants. Following the public open house, the City posted the event display boards and comment sheets on their website to provide a second opportunity for local residents to participate in the Oman School Site Redevelopment plan project. The information was posted on the City's website from August 15th, 2018 until August 31st, 2018.

A total of 24 comment sheets were received from the event and online posting. The comments received reinforced the value of the initial stakeholder workshops as there was a distinct difference in the level of support represented for the proposed redevelopment plan from people attending the initial workshops than those that were not in attendance. This trend of support is illustrated in Figure 4.

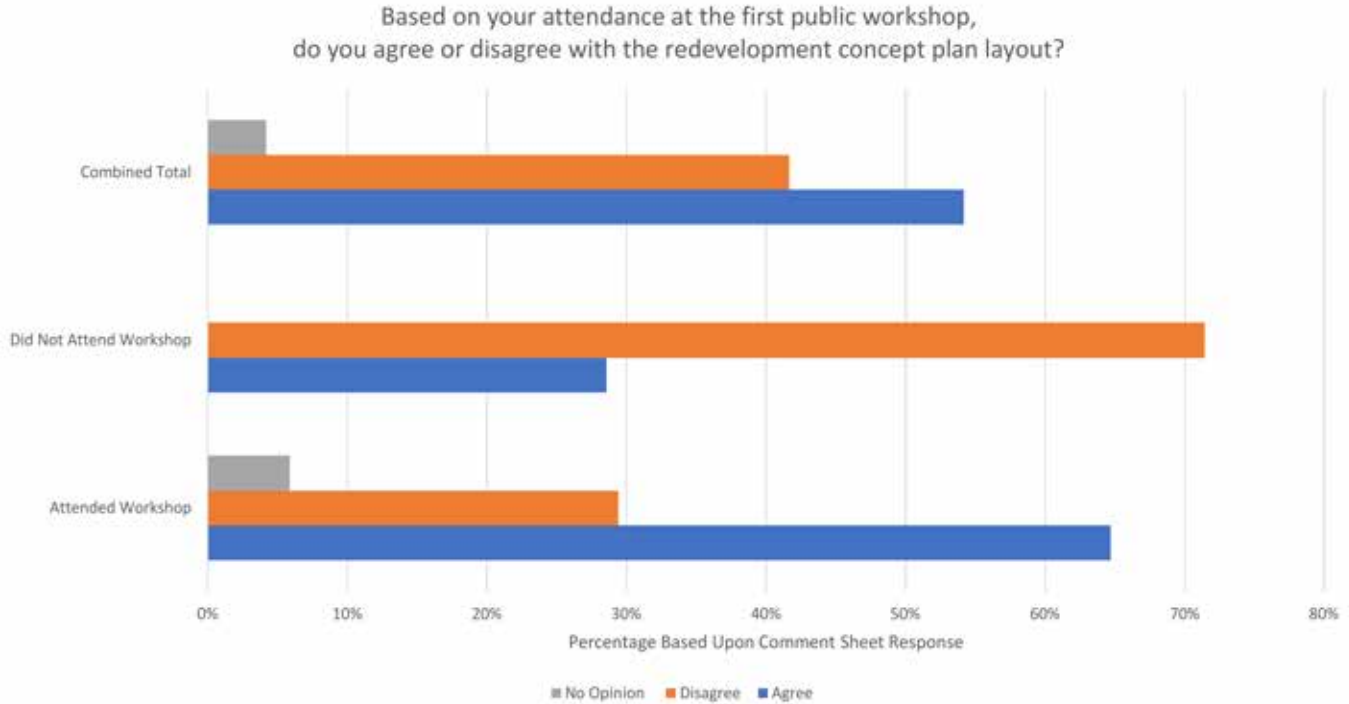


Figure 4 - Open House Comment Sheet Results

The following list of items represents the aspects of the plan people liked:

- The housing is similar to what is currently in the area;
- Cul-de-sac is a nice layout;
- The commemorative space for the Oman family;
- The large green space for the community;
- Sightlines left relatively intact;
- Playground;
- Lighting;
- The arrangement of the housing seems to follow the unique shape of the Oman irregular block;
- The plan provides more housing development while still reserving greenspace;
- Agree with the amount of single family units proposed;
- The walkway is a part of the plan;
- The idea of naming the park space after the Oman family; and
- This plan looks very much like what was proposed during the workshops.

The following list of items represents the aspects of the plan people felt could be improved:

- Keep housing affordable;
- Not a big fan of the neo-traditional houses seems to be to many houses along 6th;

- Less houses and more green spaces;
- Would like to see housing on 4th and 6th with the middle open for green space that is lighted and visible;
- A water park;
- A full basketball court;
- Walk paths do not need housing flanking on either side unless they are lit as it can lead to increased vandalism and easy escape route for theft;
- The basketball court and baseball diamond are a nice touch, but feel families would benefit more from an open space / playground area;
- Would like to see one pedestrian access to the new area from Aspen Drive;
- Being a tot baseball field, it limits the sites use and it would make some sense to have it used as a soccer pitch;
- Community garden should be in green space;
- Do not like green space being tucked behind yards and out of visibility of surrounding houses;
- Do not feel as though it suits the current development;
- Do not want additional lanes to watch with recent vehicle break-ins;
- There are many seniors in Swift Current looking to downsize and remain on the south side but the area lacks suitable down size options for seniors;
- Two many houses;
- Handicapped accessible housing is needed somewhere in the City;
- Additional single family homes with options of mixed use condo towers with ground floor retail and underground parking;
- More trees and green space with multiple options for outdoor activities (out door gym, basketball court & play structure);
- Would like to see gazebo style shelter for public gathering or a bbq facility or an amphitheatre that could be used as a summer stage and converted to a winter rink;
- Would rather have seen basketball area than T-Ball;
- The old school sites could be used better than just plugging houses in, for example, the City could consider additional park features such as a mini golf area that's connected with the Chinook Golf Course or a south side skate/bmx bike park; and
- There has been a tremendous amount of mischief in the area including, but not limited to vehicle break ins.

All of the written comments received in association with this event are attached as Appendix A.



## 5. LAND USE STRATEGY

### 5.1 Plan Design



Figure 5 - Land Use Concept Plan

## 5.2 Residential

Development within the former Oman School site is intended to include a mix of single detached residential dwellings and park space. The plan provides an opportunity to subdivide and develop up to 24 residential lots. The plan supports a combination of forms of residential development within the site including typical large front access properties and narrower lot homes providing rear access by way of a planned rear lane.

Development on the 15 larger format lots will reflect a similar style of housing as represented to the south of the plan area. It is anticipated that these lots will be approximately 16 metres wide and range in depth between 37 and 47 metres. Housing on these lots will include front attached garages with no rear yard access provided with the exception of the lots situated along the east side of the proposed new cul-de-sac which will back onto a rear lane. Housing styles should complement the area by utilizing similar materials and massing and are expected to include a mixture of bungalow, modified bi-level, and two-story housing products which would fit seamlessly with the adjacent development.

Neo-traditional or narrow lot housing is envisioned to locate along 6th Avenue SE. The plan accommodates up to nine lots with 13 metre frontages and a depth of approximately 40 metres. These dimensions will support the introduction of a more affordable housing product similar in size and configuration to the existing housing along the east side of 6th Avenue SE. Lots in this area will feature a rear lane for off-street parking/rear detached garages which is also similar to the existing built area. The introduction of a rear lane allows for the retention of a continuous sidewalk along 6th Avenue SE, maintaining a pedestrian friendly environment by moving the local vehicle movements to the back of the lot and reducing the interaction with vehicles accessing the front of the properties.

One of the main goals of planning new development is to take full advantage of existing infrastructure. Residential development within the plan area requires minimal investment into new transportation infrastructure. The proposed development of this area requires the construction of a new cul-de-sac connecting to Aberdeen Street. The cul-de-sac is approximately 50 metres long constructed in a 20 metre right-of-way with a 33 metre wide bulb at the end. The proposed rear lane along the east side of the property would be constructed in a 6 metre right-of-way width. The intended surfacing for the rear lane will be established at the time of subdivision.



### 5.3 Open Space

Park and open space are a major component of the plan comprising approximately 38% of the gross land area. The plan provides both passive and active open space opportunities for users connected by a planned internal path network.

Active recreational amenities planned for the site may include:

- a new tot park with associated playground facilities;
- a basketball court or other sport court; and/or
- a new tot-baseball diamond.

The park space has been configured and sized to also accommodate informal play and passive activities for users of all ages. These uses include but are not limited to flag football, Frisbee, kite flying, social gatherings, bird watching and dog walking which were priority activities identified through stakeholder and public consultations.

At the centre of the park is a planned plaza that could include a sport court, children's play structure, park benches and a commemorative monument to recognize and celebrate the donation of the land to the city by the Oman family. The internal path network intersects at the central plaza reinforcing the area as a public gathering point. The internal path network has been situated within the park to reflect the informal routes currently used by the public to navigate the space today.

Entrance features are planned along the path system to greet park users and to create an identity for the area. Park users will have the opportunity to park along the street or alternatively utilize the existing Maverick School parking lot after hours.

The open space was designed to provide visibility to the adjacent roads and act as a transition from the existing development south of the plan area. The orientation of housing combined with the unobstructed views from the adjacent streets supports casual surveillance of the area to reduce unwanted behavior. Bollards, pathways and private fencing is used to delineate private and public areas.

The park entrances and the internal pathway network will be illuminated to enhance the park security after dark enabling safe navigation and discouraging unwanted behavior. The lighting should be fully shielded to direct light towards the area intended to be illuminated as a means of reducing unwanted glare in adjacent residential lots.

Plantings within the park should comply with the City's Design and Development Standards in terms of tree species, girth, height and spacing.

The layout and various park amenities listed above will be confirmed during preliminary and detailed design of the open space area.





### 5.4 Population Projections, Density & Development Yields

The distribution of land uses for the Oman School Redevelopment Concept Plan are summarized as follows:

Land Use	Area (ha)	Area (ac)	Percentage of GDA
<b>Gross Development Area (GDA)</b>	<b>2.95</b>	<b>7.29</b>	<b>100.0%</b>
<b>Modern Style Low Density</b>	<b>1.12</b>	<b>2.77</b>	<b>38.0%</b>
<b>Neo-Traditional / Narrow Lot Low Density</b>	<b>0.47</b>	<b>1.16</b>	<b>15.9%</b>
<b>Parks and Open Space</b>	<b>1.12</b>	<b>2.77</b>	<b>38.0%</b>
<b>Roadway</b>	<b>0.24</b>	<b>0.59</b>	<b>8.1%</b>

Table I - Land Use Distribution

Open space represents approximately 38% of the gross development area. During consultations with the City and public stakeholders, it was emphasized that the retention and enhancement of public open space was a priority.

The perimeter focused residential development is key to taking advantage of existing roadways resulting in only 8% of the gross development area being dedicated to new roads and laneways.

The proposed density at full build-out for the site is approximately 5.1 units per gross hectare. Although this density is below the City’s target density of 10.5 units per hectare, the plan represents a compromise between maximizing the value of residential infill with the retention and enhancement of public spaces.

Based upon the 2016 Census Canada household data which estimates 2.8 persons per household; at full build-out, the plan area is likely to increase the local population by approximately 70 people. Forecasting future populations in an area is important when evaluating property servicing and the communities broader infrastructure capacity. Population projections and timing of development also assists municipal decisions concerning community services such as health, fire, protective services as well as assessing future demand on local schools. We note that for the purposes of establishing demands for servicing, the City’s Design and Development Standards use a household size of 3.5 persons per dwelling which equates to a projected population of 84 persons.

## 6. CIRCULATION

### 6.1 Roadways

The plan area is bound by 6th Avenue SE to the east, Aberdeen Street to the north and 4th Avenue SE to the west. 6th Avenue SE is a collector road while the other two bounding roads are classified as local roads. The plan proposes to limit the number of direct driveway accesses along 6th Avenue SE by including a rear lane. Housing fronting along Aberdeen Street and 4th Avenue SE will include direct property access from front driveways.

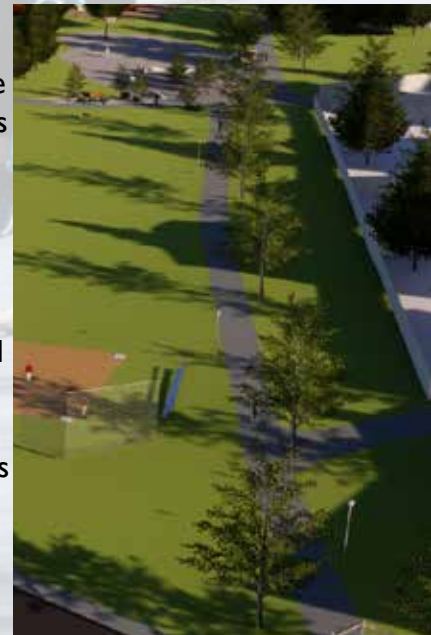
Issues with excessive traffic speeds and the overall safety of 4th Avenue SE were identified during the project consultations resulting from the topography of the area. Given that this is classified as a low volume local road, consideration should be made to employ traffic calming measures to slow down traffic to a speed more suitable for the area.

One approach for dealing with the traffic concerns is to install curb extensions at key pedestrian crossings and vehicle intersection locations. Curb extensions are considered to be a successful means of communication to drivers reducing traffic speeds, and providing safer pedestrian crossings. It is recommended that two curb extensions be located along 4th Avenue SE; one at the southeast corner of the plan area where a mid-block pedestrian crossing existing; and the second at the 4th Avenue SE and Aberdeen Street intersection.

### 6.2 Active Transportation

The City of Swift Current has taken an active role in promoting non-vehicular modes of transportation. This is evidenced by the continued development of the Chinook Parkway which provides over 20 kilometres of hard-surface trail alongside the Swift Current Creek.

The internal pathway network within the plan area has been planned to enable efficient navigation of the neighbourhood, providing a non-vehicular means for people to navigate the local and broader city area; maintaining a connection to the Chinook trail system. The internal pathway system is intended to be an asphalt surface which reduces overall maintenance requirements and maximizes accessibility for all mobility levels. It will provide pedestrians and cyclists the ability to access the internal open space areas and maximize the permeability of the site.



## 7. SERVICING STRATEGY

### 7.1 Water Distribution

Potable water for the proposed infill development will be supplied by the existing municipal water distribution system. The following sections outline the proposed servicing.

#### 7.1.1 Existing Water Infrastructure

The project site area is serviced by a network of 200 mm diameter water mains on 4th Avenue SE and Aberdeen Street while 250 mm and 450 mm diameter water mains run along 6th Avenue SE providing service for domestic use and firefighting. All water mains are asbestos-cement (transite) material.

#### 7.1.2 Water Design Parameters

Evaluation of the water distribution system for the project site area is based on the parameters set forth in the City of Swift Current Design and Development Standards (2015) (DDS).

Specifically, the water demand estimates are based on the following parameters:

- Average Day Demand (ADD): 415 liters per capita per day (Lpcd)
- Maximum Day Demand (MDD): 2.1x ADD
- Peak Hour Demand (PHD): 3.2x ADD

#### 7.1.3 Water Demand Summary

The estimated demands have been calculated based on the lot layout proposed for the project site area and an estimate of 3.5 people/dwelling as defined in the City’s DDS. Based on a maximum of 24 units, the design population for this development is estimated at 84 people. A summary of the demands associated with the proposed infill development are below.

Design Population	ADD (L/s)	MDD (L/s)	PHD (L/s)
84 people	0.40	0.85	1.28

Table 2 - Water Demand Summary

Fire flows, as outlined in the City’s DDS, shall be designed to meet the minimum development type classes while maintaining a residual pressure at any location of 140 kPa (20 psi).

### 7.1.4 Water Servicing

Four lots will be serviced by the existing 200 mm diameter water main on 4th Avenue. Nine lots will be serviced by the existing 250 mm diameter water main on 6th Avenue. The eleven lots identified as a new cul-de-sac will be serviced by a proposed 200 mm diameter water main extended approximately 70 m from the existing 200 mm diameter water main on Aberdeen Street.

A hydrant will be required at the dead end of the cul-de-sac for flushing, and firefighting purposes along with an isolation valve.

While the final water main sizing will depend on further analysis, it is reasonable to assume that the extension of services for a cul-de-sac supporting single family housing, would be a 150 mm or a 200 mm water main. Size to be confirmed during design.

Water service connections will be 25 mm diameter Municipal with corporation stops located at the main connection and curb cocks at property line. Services beyond the property are the responsibility of the lot Owner(s).

The DDS states a minimum of 1900 L/min (32 L/s) at 140 kPa (20 psi) be available for single family units. Available fire flow will be confirmed during design using existing models and software. Previous reports have indicated fire flow in excess of 175 L/s is available for the area. For reference, see Figure 6.

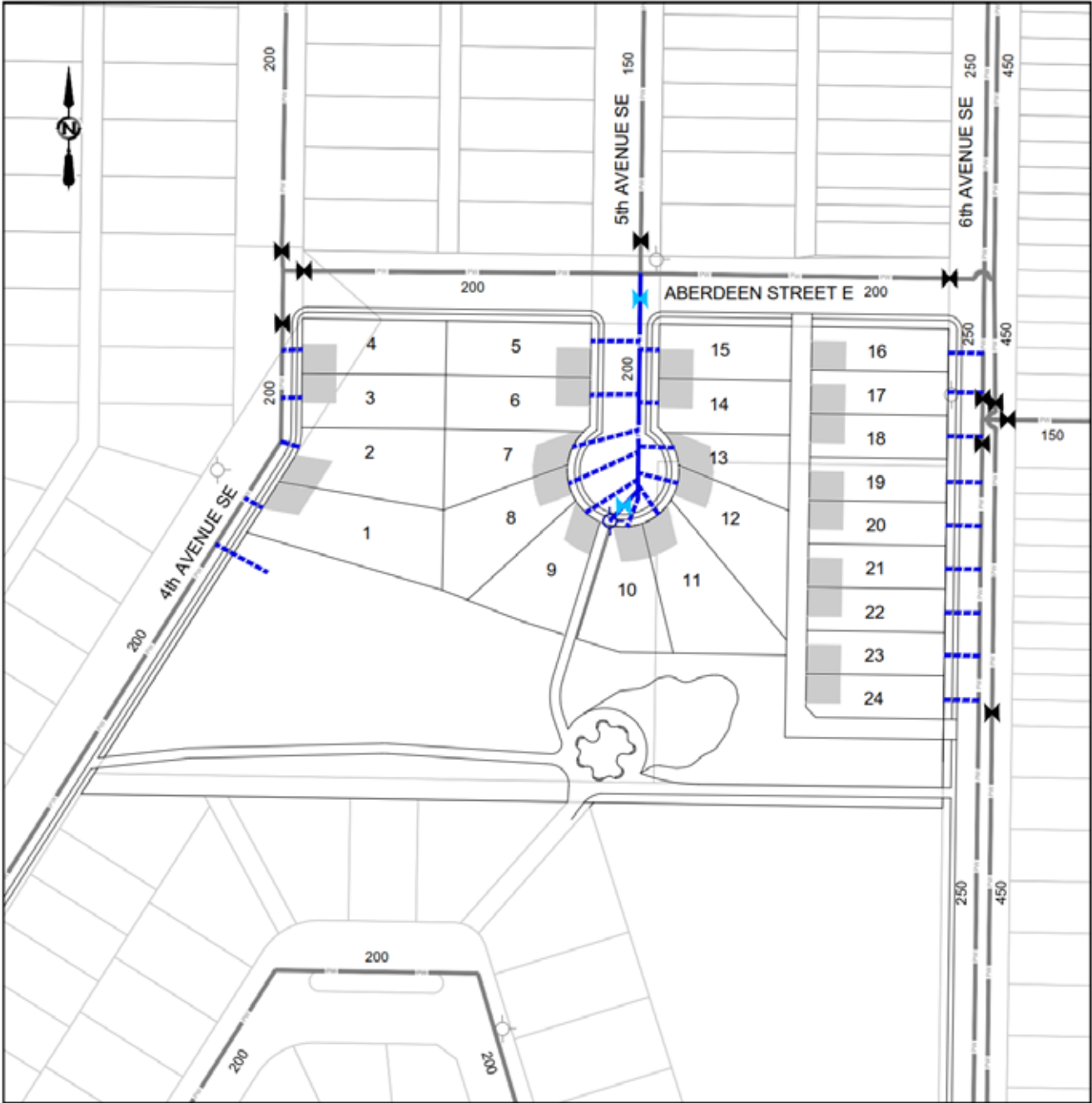


Figure 6 - Existing and Proposed Water Distribution System

<b>LEGEND</b>			
	EXISTING WATERLINE		EXISTING FIRE HYDRANT
	PROPOSED WATERLINE		PROPOSED FIRE HYDRANT
	FUTURE WATERLINE SERVICE CONNECTION		EXISTING VALVE
			PROPOSED VALVE

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## 7.2 Wastewater Collection

Wastewater collection for the proposed infill development will be supplied by the existing municipal sanitary sewer system. The following sections outline the proposed servicing.

### 7.2.1 Existing Wastewater Infrastructure

The project site area is serviced by 200 mm diameter gravity sewer mains on 4th Avenue SE and 6th Avenue SE. 5th Avenue SE is serviced with a 300 mm diameter gravity sewer main. All sewage is directed by gravity to the north to a receiving lift station (Lift Station No. 4) and eventually discharged to the City's Wastewater Treatment Plant.

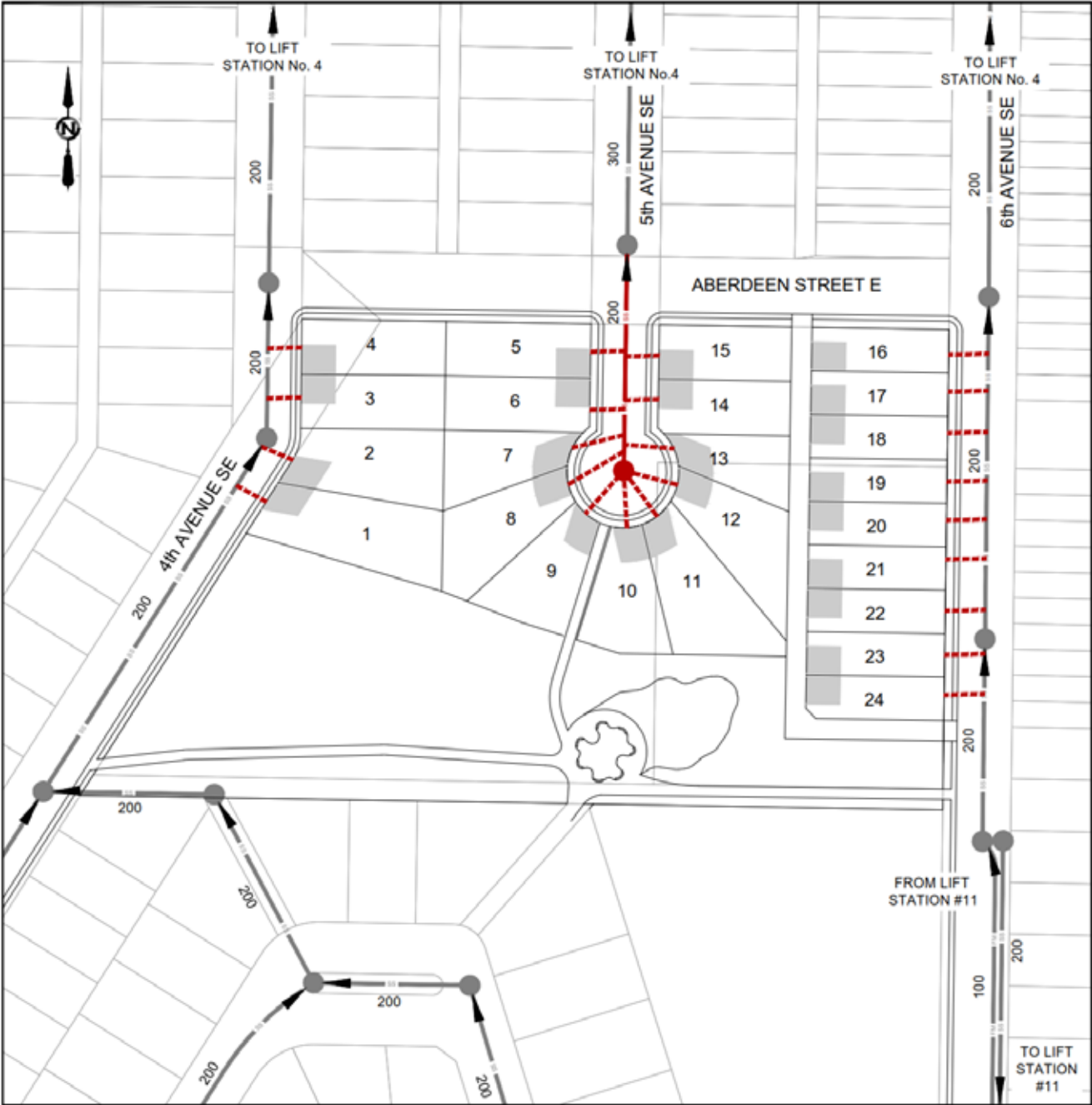
### 7.2.2 Wastewater Design Parameters

Evaluation of the wastewater collection system for the project site area is based on the parameters set forth in the City's DDS. The projected sewage generation rates are estimated to be 80% of the water demand. Typically, 80% of the water demand contributes to the sewer with the remaining being used for irrigation purposes.

Calculation estimates for wastewater flows attributed to the project site area are based on the following parameters:

- Project site area of 2.5 ha.
- Wastewater generation rate of 332 Lpcd.
- Project site area design population of 84 people based on 3.5 person's/household and a maximum of 24 units.
- 0.20 L/s/ha allowance for inflow and infiltration (I&I).
- Peak design flow (PDF) is the sum of the peak dry weather flow (PDWF) and the I&I allowance.
- $PDF = (ADWF \times Pf) + I\&I$
- Harmon Peaking Factor calculated based on the land use design population.
- Harmon Formula  $Pf = 1 + 14 / (4 + P^{0.5})$   
Where, Pf = Harmon Peaking Factor  
P = Population in thousands
- Manning's pipe flowing full equation to be used for main sizing of the cul-de-sac and existing pipe evaluation.
- Minimum 200 mm diameter pipe per Design Standards.

See Figure 7 on the following page for reference.



**LEGEND**







-  EXISTING SANITARY SEWER PIPE
-  PROPOSED SANITARY SEWER PIPE
-  PROPOSED SANITARY SEWER SERVICE CONNECTION
-  EXISTING SANITARY SEWER MANHOLE
-  PROPOSED SANITARY SEWER MANHOLE
-  SANITARY SEWER FLOW DIRECTION

Figure 7 - Existing and Proposed Wastewater Collection

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### 7.2.3 Wastewater Demands Summary

The project site is divided into three areas with services for four lots on 4th Avenue, nine lots serviced on 6th Avenue, and an extension of service for eleven lots in a cul-de-sac to 5th Avenue.

Harmon Peaking Factor was calculated to be 4.26, while the I&I rate was calculated to be 0.5 L/s. The project site area will generate an estimated peak design flow of approximately 1.88 L/s based on the design population of 84 people.

### 7.2.4 Wastewater Servicing

A sewer main will need to be extended from 5th Avenue SE to service the proposed cul-de-sac. A 200 mm diameter sewer main should meet the requirements for sewage flow graded at a minimum of 0.40%. Lots along 4th Avenue SE and 6th Avenue SE will be serviced at the existing sewer mains.

Existing invert elevations and grades to be confirmed during design.



## 7.3 Stormwater Management

Stormwater management for the project site area will be provided by attenuating on-site post-development flows to the calculated pre-development flow rates to minimize the impact on the existing storm sewer system.

### 7.3.1 Existing Stormwater Infrastructure

Storm sewer is located on the south edge of the property flowing from west to east eventually discharging at an outfall located east of Elgin Street. The storm main size is 750 mm diameter which collects stormwater south and west of Oman school.

An existing 300 mm diameter storm sewer is also located along Aberdeen Street which flows to the north.

Stormwater is collected through a series of catch basins connected to the storm drainage system.

### 7.3.2 Stormwater Design Parameters

The site can be graded to the existing stormwater system. Changes will be made to the general flow direction of stormwater and the amount of impermeable surfaces. An evaluation of pre- and post- conditions will be completed during design with the intent to store stormwater beyond the pre-development flow rate by controlling the discharge rate and creating temporary surface ponding at catch basins.

Calculation estimates for stormwater attributed to the project site area are based on the following parameters:

- For areas less than 65 ha, the Rational Method shall be used to design the storm drainage system.

- Rational Method Formula:

$$Q = CIA$$

Where, Q = the design peak flow (m<sup>3</sup>/s)

I = the intensity of rainfall (m/s) corresponding to the time of concentration

A = contributing area (m<sup>2</sup>)

C = the runoff coefficient

- The time of concentration is comprised of the overland flow time to the storm sewer inlet. Overland flow time to curbside in residential areas shall be calculated. Using the Kirby/Hathaway equation  $T_c = 1.444 (L/N/S^{0.5})^{0.467}$ .

$T_c$  = Time of Concentration in Minutes

L = Distance of Travel in Meters

N = Roughness Coefficient

S = Slope in m /m

- 1:5-year storm return period will be used for design of the minor system (below ground, pipe network). 1:100-year storm return period for the major system (above ground, surface runoff).
- Intensity duration frequency curve data for the Swift Current area will be used to estimate rainfall.
- Where the maximum initial time of concentration is fifteen minutes, the rainfall intensity (i) has an associated five-year return period rainfall rate of 50 mm/hr.
- Pipes will be sized based on the Manning's pipe flowing full equation.
- Site area of 2.5 ha.
- Runoff permeability coefficient (C) values will be weighted based on existing and proposed conditions, comparing: grass, pavement, roofs, and park areas.
- Development will attenuate on-site flows to the pre-development flow rate.
- Overland drainage will be maintained at a minimum of 0.50% grade.
- Survey is required to facilitate evaluation of pre-development flows and post-development design.

### 7.3.3 Stormwater Servicing

Upon completion of a detailed survey, a grading plan can be developed to best work with the topography. This in turn will reduce the amount of earthworks required and provide a lower development cost. For illustration purposes, we have made some assumptions and provided an overall conceptual grading plan and layout for stormwater.

### 7.4 Opinion of Probable Development Costs

Based on the servicing concept presented herein, the information below represents an opinion of probable cost for the development.

Item	Description	Estimated Cost
1.0	Roadways and Site Work	\$210,000
2.0	Potable Water	\$35,000
3.0	Sanitary Sewer	\$30,000
4.0	Storm Sewer	\$45,000
5.0	Building Services	\$95,000
	<b>Subtotal</b>	<b>\$415,000</b>
	Contingency (20%)	\$83,000
	Engineering (12%)	\$50,000
	<b>Total</b>	<b>\$548,000</b>

Table 3 - Opinion of Probable Cost

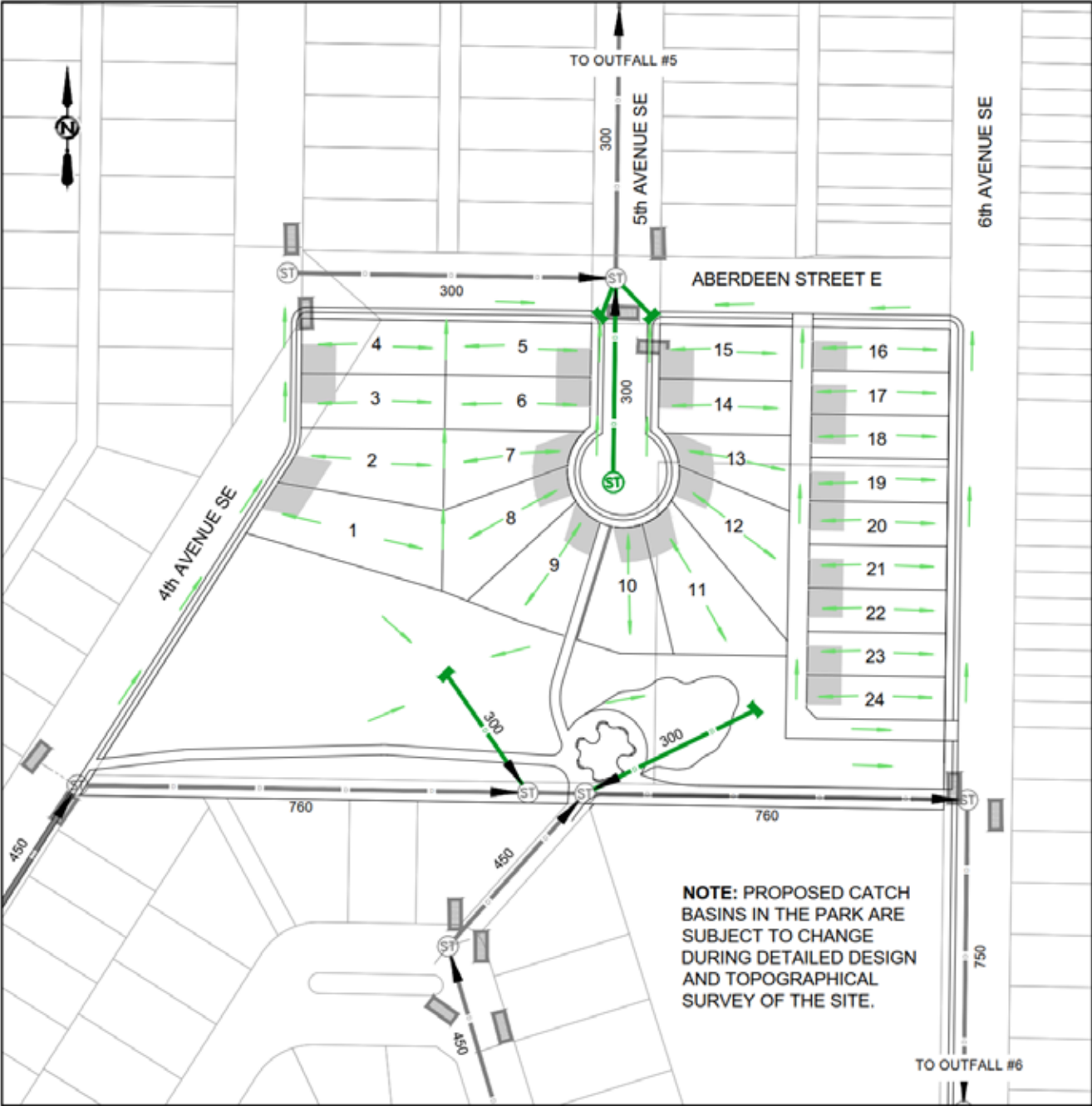


Figure 8 - Existing and Proposed Stormwater Drainage

<b>LEGEND</b>			
	EXISTING STORM SEWER PIPE		EXISTING STORM SEWER MANHOLE
	FUTURE STORM SEWER SERVICE CONNECTION		PROPOSED STORM SEWER MANHOLE
	PROPOSED OVERLAND DRAINAGE		EXISTING STORM SEWER CATCH BASIN
	STORM SEWER FLOW DIRECTION		PROPOSED STORM SEWER CATCH BASIN

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### 8. PLAN IMPLEMENTATION

Concept plans within the City of Swift Current are adopted through a resolution of Council. They are intended to inform the subsequent preparation of a subdivision and development permit application, providing the City with a basis for evaluating the level of compliance of these submissions with the City's vision for this area as represented by this concept plan.

This plan was prepared to align with the City's infill and overall development goals, objectives and policies with consideration to the input provided through public and stakeholder engagement. It establishes the design principles that need to be acknowledged in the actual development of the site. The following sections identify these key design principles which will be used by the City to evaluate the level of compliance that a future development application may have with this plan which in turn will define the approval process and need for additional consultation in the future.

#### 8.1 Property Zoning

The plan area is currently zoned as RI-Single-Detached Dwelling District. The intent of the RI District is to establish and preserve quiet, low density residential neighborhoods free from other uses except those which are compatible with such a district. The more traditional lots along 4th Avenue SE and within the planned cul-de-sac are supported by this zoning. It is expected that the neo-traditional residential development envisioned along 6th Avenue SE, will be rezoned to the RIS-Single-Detached Small Lot Dwelling Residential District.

#### 8.2 4th Avenue SE Road Closure

A portion of the plan area situated along 4th Avenue SE lies within the roadway ROW. This 0.12 hectare area is grassed and does not appear to be a functional component of the roadway. This undeveloped ROW will need to be closed in conjunction with the subdivision of residential lots along 4th Avenue SE.

#### 8.3 Design Guidelines

To support and guide the future development of the Oman School site, the following design principles shall apply:

The City's Infill Guidelines provide advice on how visual cohesiveness can be maintained for streetscapes in mature areas of the city. These considerations include building height, roof types, lot coverage and setbacks, building facades, materials, textures and colours, entryways and windows styles. As a large scale infill development site, new development within the Oman site does not directly abut existing development and as such is predominantly informed by the applicable zoning regulations.

The existing homes surrounding the Oman property include hip and gable style roofs and with the exception of homes along the southern boundary of site, most of the existing dwellings are single story bungalows. Homes situated along the southern end of the site include split and bi-levels which take advantage of the slopes.

New homes fronting existing homes along 4th Avenue will include front driveways and front attached garages which will share a similar height and roof-line with existing homes along the west side of the street. The addition of a front attached garage provides a step back transition moving away from the front of the lot to accommodate a potential increase in the height of the principle dwelling.

Housing within the planned cul-de-sac does not share a common frontage with homes along Aberdeen Street which reduced the visual impact of a different style of housing.

Housing along the east side of 6th Avenue SE is already transitioning from single level bungalows to a more substantial building profile. It is expected that the introduction of single and multi-story neo-traditional homes along the west side of 6th Avenue SE will be comparable in height and roof style to the newly constructed homes at the south end of the block.

Newer housing development situated along the south boundary of the Oman site is of a larger scale than the existing dwellings along the remaining plan area interfaces. The lots within these newer areas are not significantly larger than the smaller wartime lots, resulting in a relative increase in lot coverage between the two areas. New housing development along 4th Avenue SE and within the planned cul-de-sac is expected to have a similar lot coverage as is represented by the newer housing development along 4th Avenue SE south of the project area. The neo-traditional housing envisioned along 6th Avenue SE will have a similar lot coverage relative to it's narrower lot design.

The setback of existing housing along the perimeter of the Oman site varies. Homes that do not have a front facing garage are typically setback further from the roadway. New houses in the area generally include front attached garages and driveways that extend further into the front yard. It is expected that new housing development along 4th Avenue SE and within the planned cul-de-sac will share a similar setback as the newer homes situated along the southern boundary of the plan area.

The neo-traditional housing planned to situate along 6th Avenue SE will include rear facing detached garages and will share a similar setback as the existing homes along the east side of 6th Avenue SE.

Given the significant range in the age of existing housing in the area, there is a diversity of housing materials, textures and colours present. Facade and building materials include brick, stone, vinyl and wood siding as well as stucco. New development in the area is expected to employ a similar variety of materials, textures and colours.

The following broad recommendations are provided to guide the development of new housing within the Oman site in a way which seeks to maximize its positive integration into the neighbourhood:

1. New housing fronting 4th Avenue SE should utilize single story attached front garages and roof designs to step back upper stories away from the street where the new dwelling is significantly taller than an existing dwelling sharing a common street frontage.
2. New housing should employ similar gable and hip roof styles as is represented by existing development in the area.
3. New housing should maintain a similar setback from the street as existing housing with the exception of front attached garages which may extend into this common setback.
4. New homes should employ a complimentary colour palette and utilize similar building materials and textures which convey a sense of durability and permanence.
5. Homes on corner lots abutting a municipal street which have existing fronting development along that street should have a similar elevation treatment as the front yard in regards to window placement and architectural detailing.
6. Where a property is being developed with a new primary dwelling, off-street parking shall be provided as per the City's Zoning Bylaw.
7. In neo-traditional or narrow lot areas with rear lanes, off-street parking should be provided exclusively from this lane and front driveways should be prohibited.

### 8.4 Amendments to the Plan

Following Council's adoption of this concept plan, any changes to the concept plan presented will be subject to the City's Developers Guide for Preparing Concept Plans (the Guide) amendment process. Where a change to this plan is envisioned, an application is required to be submitted to the Planning and Growth Development Department defining the context of the proposed change. The Guide defines the difference between a minor or major change and the associated process followed to consider the change. A minor change is required to be reviewed and subject to approval by the Development Review Committee. A major change results in the need to restart the concept plan process as defined within the Guide including additional public engagement as required by the City.

## 9. CLOSURE

This concept plan report was prepared for the City of Swift Current to inform the planned redevelopment of the Oman School site as per the City’s Infill Guidelines. This plan considers the input received from the public and local stakeholders; balancing the City’s interest in creating new residential opportunities in mature neighbourhoods with the interest in maintaining and enhancing public open space.

The services provided by Associated Engineering (Sask.) Ltd. in the preparation of this concept plan report were conducted in a manner consistent with the level of skill ordinarily exercised by members of the profession currently practicing under similar conditions. No other warranty expressed or implied is made.

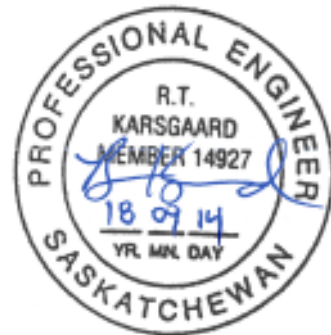
Respectfully submitted,  
Associated Engineering (Sask.) Ltd.



Mike Pawluski, RPP  
Project Planner



Ryan Karsgaard, P.Eng  
Project Engineer

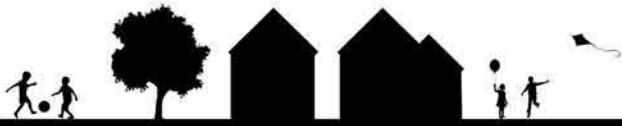


**APPENDIX A - PUBLIC ENGAGEMENT**



# Oman School Site Redevelopment

## Record of Consultation



## Project Background

Associated Engineering was engaged by the City of Swift Current to prepare a concept plan to guide the future redevelopment of the former Oman School Site. The plan will provide information related to the intended future form of development on the site as well as establishing a conceptual basis for servicing the site as required for redevelopment. The concept plan is intended to acknowledge and consider the form and density of adjacent land uses, promote positive community integration, and consider public input and local site conditions.

## Public Workshop Results

As part of the initial public consultation process, Associated Engineering and the City of Swift Current facilitated two stakeholder workshop events over two evenings, March 6<sup>th</sup> and 7<sup>th</sup> of 2018. Invitations were sent to all property owners situated along the direct park interface. The events were well attended with 46 registered participants. The following questions were discussed and below each question are responses that were heard during these events:

### 1. How do you use the site in its current form, and how do you witness the site being used? Where can these uses be accommodated in other areas of the City?

- T-ball and Youth baseball
- Dog walking
- Flying kites, drones, and rocket club
- Public gathering/birthdays
- Frisbee

Some additional points of discussion from this question were:

- Other available park spaces in the area are close but still too far away for small kids to venture on their own.
- The informal trail along the southern boundary of the site is used regularly and should be retained.
- The site is currently an eye sore in the summer months due to the lack of irrigation.
- The park is handy for children and highly visible for parents.
- The City, overall, has a potential need for soccer pitches.
- Maverick school is lacking available parking spaces and there is also a need for green space for the school.
- Basketball is available at the Fairview school park; however, residents feel that it is at capacity and more facilities are warranted.
- A sidewalk should be added along the eastern side of 4<sup>th</sup> Avenue SE to accommodate pedestrian movements.

### 2. If you could pick one feature of the site to retain that would benefit the community, what feature would that be?

- Greenspace and recognition to the Oman Family.
- Basketball courts.

- Informal southside pathway and pathway connections.
- Sufficient open space retained to accommodate a variety of informal outdoor activities including flying kites etc.
- A buffer should be provided between existing residential along the south side of the park and any new development on this site.
- Would like to see some public green space and more vegetation.
- Would like to see less traffic in the area and increased pedestrian safety along 4th Avenue SE.
- Would like to see some hard surface recreational areas to diversify the options for resident recreation.

**3. The City's infill guidelines designate infill sites are required to include a housing component. What type of housing is best suited to the present needs of Swift Current, and would compliment and contribute to the betterment of the surrounding area?**

- Single-family house
- Neo-traditional house
- Semi-detached house
- Row houses
- Apartment complex for seniors with elevators
- Perimeter housing should be provided

**4. How do you feel about current site safety and how might it be enhanced through development?**

- Unwanted behavior within the site has been reduced since the demolition of the school building.
- Additional lighting on the site would increase safety.
- Ensuring that park spaces remain visible from the street is important to create a safe place.

## Workshop Sketches

During the initial stakeholder workshops, participants were provided an opportunity to voice their opinions on the redevelopment of the site and sketch out how the former school site could be redeveloped. The following sketches were developed and represent the perspectives provided at these meetings.

Please note that the following sketches do not represent a final product and serve as a starting point for site planning. preliminary. The sketches are not intended to communicate details, but are meant to present a general site layout as per the information gathered through the workshop.

## Sketch 1



### Key Points:

- Provide a connecting pathway through the site
- Would like to see visible and accessible green space
- Prefer single detached and narrow-lots to be consistent with adjacent area
- Want to make sure new housing doesn't look into old housing and vice versa

## Sketch 2



### Key Points:

- There should be a buffer between residential and interior of site
- Would like to see some public green space and a tree zone and prefer a single detached style of housing product in this area
- Aspen Drive development area had building requirements
- May be there is an opportunity to introduce a mixture of housing with seniors and young families

### Sketch 3



#### Key Points:

- Would like to retain green space with recognition to the Oman family
- Type of residential development preferred is single dwellings that fit the current structure of the area
- Would like a walking path to connect to open space areas
- Perimeter housing development around the site is preferred as opposed to internal development

## Sketch 4



### Key Points:

- Would like to see a pedestrian connector to Chinook path and a pedestrian connection out to fifth
- How can we maximize green space? What if we increased density on parts of the site along 6<sup>th</sup> Avenue SE, could we increase our retention of park space?
- Interested in higher density housing forms such as apartments that are senior focused with elevator's
- A sidewalk along the east side of 4<sup>th</sup> Avenue SE would be beneficial and may make the site more accessible

## Sketch 5



### Key Points:

- Would like to retain available green space for uses and provide recognition to the Oman family
- In regards to safety, lighting should be considered on the site and openness to the park space so it is visible
- The park space should not be closed off it needs to be visible to the street
- If developed for residential purposes a wider corridor along southside of the site should be incorporated, perimeter housing should be provided but not whole site, and an opening to the street should be retained

## Sketch 6



### Key Points:

- The greenspace should be retained as much as possible
- If a housing choice had to be made, it should be single-family and should blend in with the surrounding area
- The park should be visible so everyone can enjoy and see it and it should be accessible to everyone
- Parking places should be considered for the green spaces as this could become an issue with people parking along the street to access and use the greenspace.



## Sketch 7



### Key Points:

- The site is currently an eye sore in the summer as there is no irrigation and so it is just a brown field
- Would prefer the site to have perimeter housing with nice lots that are attractive to buyers in the City
- Any planned park space should be visible and not closed
- Parks space should include a basketball court and a nice place for kids to play
- Prefer housing planned for the area to be single-family or semi-detached and it should blend into the area

## Oman School - Online Survey Summary

A total of 47 online surveys were completed and submitted regarding this project. The following figures summarize the results received to each question:

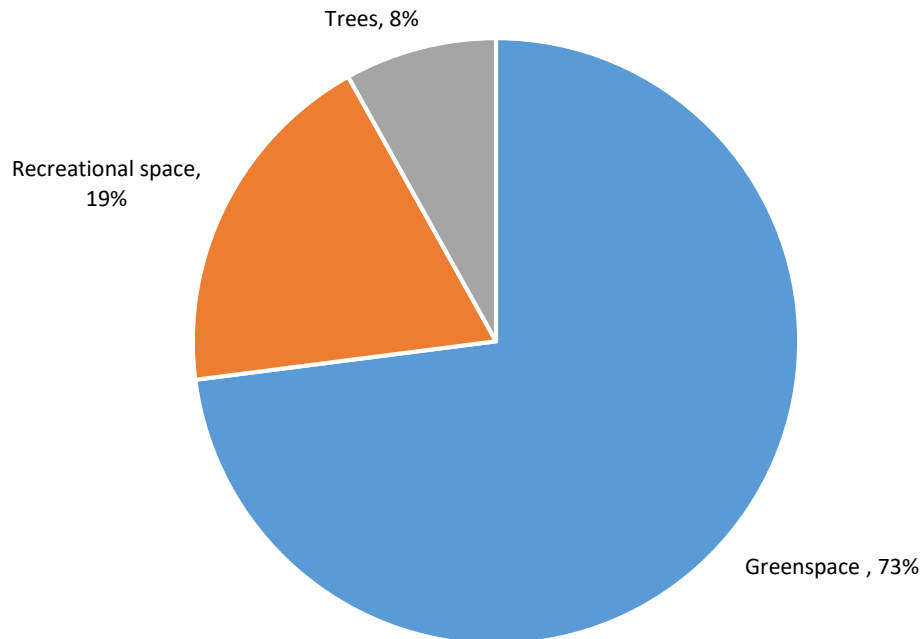
### Question 1. How do you use the site in its current form, and how have you seen the site being used?

Use	Responses
Park/Recreational Space	26
Baseball	15
Basketball	8
Soccer	8
Kite Flying/Frisbee	10
Bike Riding	4
Dog Walking	8
Football	2
Social Gatherings	1

Where can these uses be accommodated in other areas of the City?

- Riverside Park
- St. Joseph School
- Chinook Pathway
- Fairview
- Southside Park

### Question 2. If you could pick one existing feature of the site to retain that would benefit the community, what would that be?



## Oman School - Online Survey Summary

### Some of the responses for question 2 consisted of:

It would be nice to see the large trees stay, a park area for the kids in the area again, and single home housing.

Maintain some green space against the houses that are already there, and add additional single family homes throughout the rest.

The area with the all diamonds should be kept as local families still use this area.

I have no objections to developing the east side of the site where the school once stood but please leave the park area as green space with the existing ball backstops in place.

Large grassy area where children can run & play. The. Playground is an asset, meant for children to play on . ( Kite flying , etc...)

I would like it have some sports venue like basketball court and some green space for walking. Maintained as an area for kids to use

The one feature of the site to retain is ALL THE LAND DONATED for the benefit of the community! As the Oman family wished when they donated it!

green open space,

secondary - playground equipment, tie in Chinook pathway,

A reasonable amount of green space and recreation. With the closure of St. Joe's, Oman, Ashley Park and St. Pat's we risk losing a great amount of green space and recreation that makes this city beautiful. Although I understand housing development is required to produce the tax base to pay for all this, but i believe it is important to have a balance.

Park like atmosphere with basketball courts and playground.

At Least A Playground For Children! Would have loved to seen it done up with soccer fields or even a leisure Center which is what this property was donated to City Originally by Oman Family! This Lot is Level and would save Tax Dollars from having to renovate other school properties into Green Space!

The fact that it has no houses. relating to question 3 - if you have to have houses why not small houses? Industry is uncertain, with all these tariffs and the fact that trade as we know it could change and a lot of peoples jobs are at risk, and there is already a high debt level, there may be less disposable income to spend on oversized houses. Plus we are consuming more resources than the planet can handle. Why not a sustainable community of tiny houses, gardens, a food forest with plenty of green space for kite flying, frisbee, et al. Design the community/landscaping with permaculture designs, including capturing rain water from Maverick school. \Maybe a community firepit and outdoor kitchen/oven for community gatherings?

Playground: grassy area, play structures, small spray park, basketball court, benches with shade, good lighting and open safe area.

This site should be returned to the previous owners. Or turned into green space. It was Never meant for housing!!!

Green space, Amphitheatre, sports, cultural events communities working together is always best.

## Oman School - Online Survey Summary

If the playground still existed, it would be to keep that around as there are no nearby parks. Continue with green space - please don't fill it up with houses.

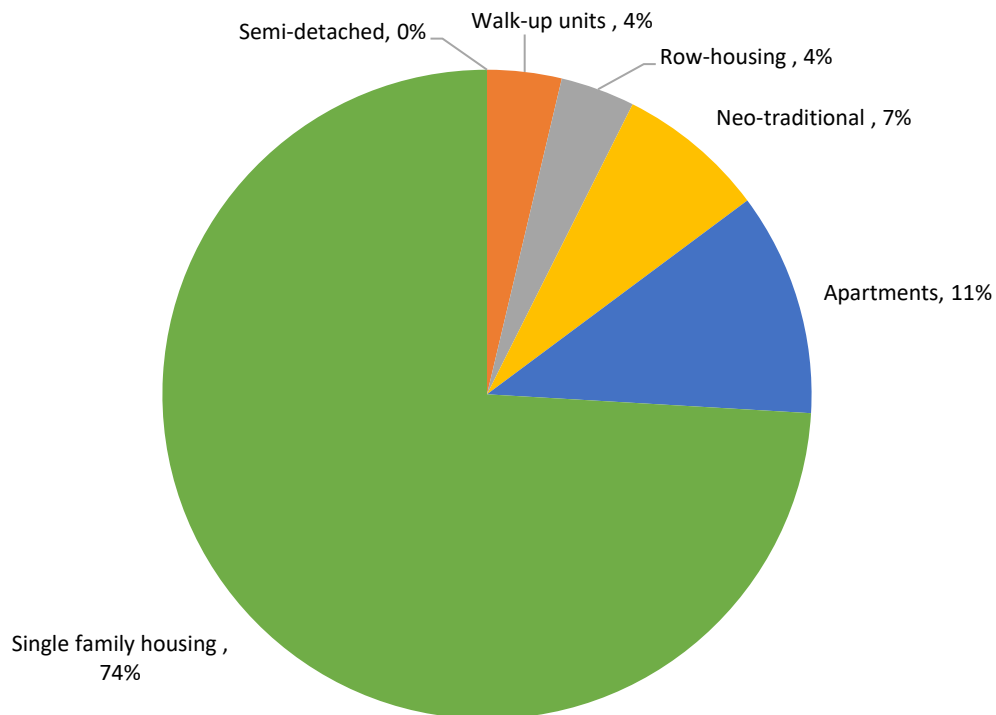
Greenspace and your next question for three I'm not answering because I don't believe the intended purposes of this land was for housing, nor should it be used for housing.

Some type of memorial, The Oman school stone sign, an original tree, and bench with a plaque of the history of the site.

I honestly believe turning it into a green space adding more play grounds tree and walking paths would help a lot many children and people waking their dog come through here it fences and a safer place to play while still have the freedom that children and pets like.

Adding the playground trees and may fountain would fill and bring the space to life and more people would start using it.

**Question 3. The City's infill guidelines state that infill sites are required to include a housing component. What type of housing is best suited to present needs of Swift Current, and would complement and contribute to the betterment of the surrounding area?**



## Oman School - Online Survey Summary

### Question 4. How do you feel about current site safety and how might it be enhanced through development?

Site safety?

There's nothing there except a fence.

I don't see any issue with site safety as it is now.

Keep a clear view to the developed green space and adequate lighting

i don't believe there is too much of a safety issue at the moment, except lighting would help the area to be used for more hours in the evening. Thank you.

Site has always been safe when I have used it. Only complaint would be the odd gopher hole.

I do not support developing it into homes and the city making a profit from it. This land was DONATED for a school! It should not be developed into housing. The city should create a public use area, park, green space and sports field for public use. Shame on you Swift Current! This land was not GIVEN to you to make a profit from. You make me sick to my stomach

Some busy streets border the property- 4th Ave and 6th Ave. Lowering speed limits and clear crosswalks would help.

rough terrain, not lit up very well in the evenings. Green space is useable but not very well taken care of.

maintenance on a smaller well planned out green space would be more manageable. add lighting for evening use in parks.

The site needs lighting and some development to keep it safe.

The area is fairly dark and isn't very usable or safe after dark. Lightning would be beneficial. Some walk paths through the site would be good also as well as access from Aspen Drive through the municipal reserves.

No buildings, lighting in play areas, irrigation

One thing about using Oman for Recreational it would not be located right next to No. 1 Hwy ! Like the former Dickson & St Pats School It would be Safer For Youth! Lots More Parking For Events!

I think too much development causes people to be neurotic. Natural spaces are necessary for the well being of people and all non human life.

Current: In it's present state, there is nothing there .... rough terrain, weeds, eyesore.

Through development, warm friendly inviting space to enrich the lives of families in neighborhood. Whatever the new space looks like, it needs to have open visibility, good lighting, no areas where to lure youth to inappropriate activities.

The Southside has lost many facilities, and we have seen the city focus all energies into development in City's North (schools, hospital, possible future leisure center etc) thus luring more value for housing in those areas. We in the South pay equal taxes yet may lose financially with lower resale values. How does the population of the Southside compare with other areas of the city in relation to greenspace and amenities?

## Oman School - Online Survey Summary

I feel completely safe walking around a grassy fenced in area. Ha. I would say that yes it would be nice to develop this land into something more than a piece of uneven ground. I just don't want more housing. From what I see above we are given the option of apartments- pretty sure the south side has enough low income housing. So for me I would say no to apartments, walk up units, row homes. I am dead against more housing being built at this site. Like I said above I'm sure my voice doesn't matter, the city has decided housing so housing it will be. So I guess I would have to pick houses that the average family can purchase the lot and build a house that isn't worth half a million dollars and still go outside and play in the tiny little bit of green space that is left.

There should be zero homes built unless the Oman family sells the land to the city for that purpose!

No safety issues, but a playground would be very beneficial to getting kids outside and away from screens

No issues. It should be used as a park/green space.

Nothing in the community is advanced by creating housing for the wealthy and greedy and destroying a public space where all can gather as was intended and stipulated by the people whom originally donated the land. Destroying a school, destroying a public place are how inner city slums are created. Congrats Swift you are well on your way.

A sidewalk on 4th SE would be very good. Also a walking path connecting 5th Ave. SE to the walkway for Aspen Drive. Keeping the park area visible to the streets.

More lighting throughout the area to reduce the shady behaviour already happening. Slow down traffic from the golf course as vehicles FLY by 6th Ave SE every day.

Make sure the demo site has been cleaned up and leveled. Turn it into a public orchard/ picnic space/ family gathering spot. Build houses elsewhere.

People destroying fences and driving on it

If its looked after in current state, safety shouldn't be a problem. Amazed that anyone from the save Oman field site were NOT invited to this process which we were told by the City that when this was going happen we would be, Why in previous option that it is only housing or condos offered and not a park or open space.???????

It's a safe site just a few gopher holes and garbage

Well kept park and greenspace.

Needs better street lights for safety

Just give it back to the people who donated it instead of making profit off donation.

Again, I cannot stress enough the need for more handicapped housing where people in wheelchairs can live and gain some independence while being accompanied by a caregiver who may have to live in with the client.

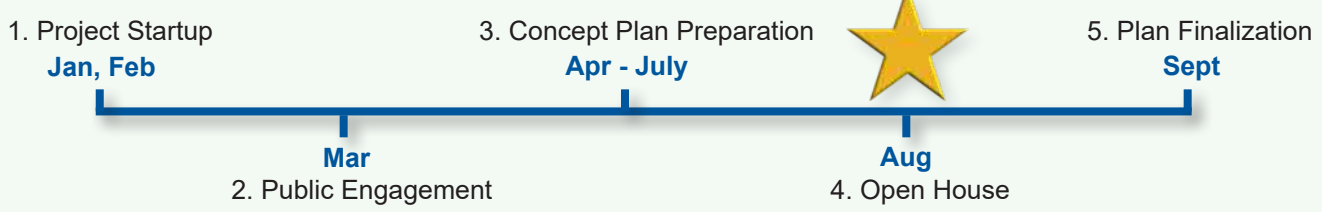
# Oman School Site Redevelopment Project Update July 2018



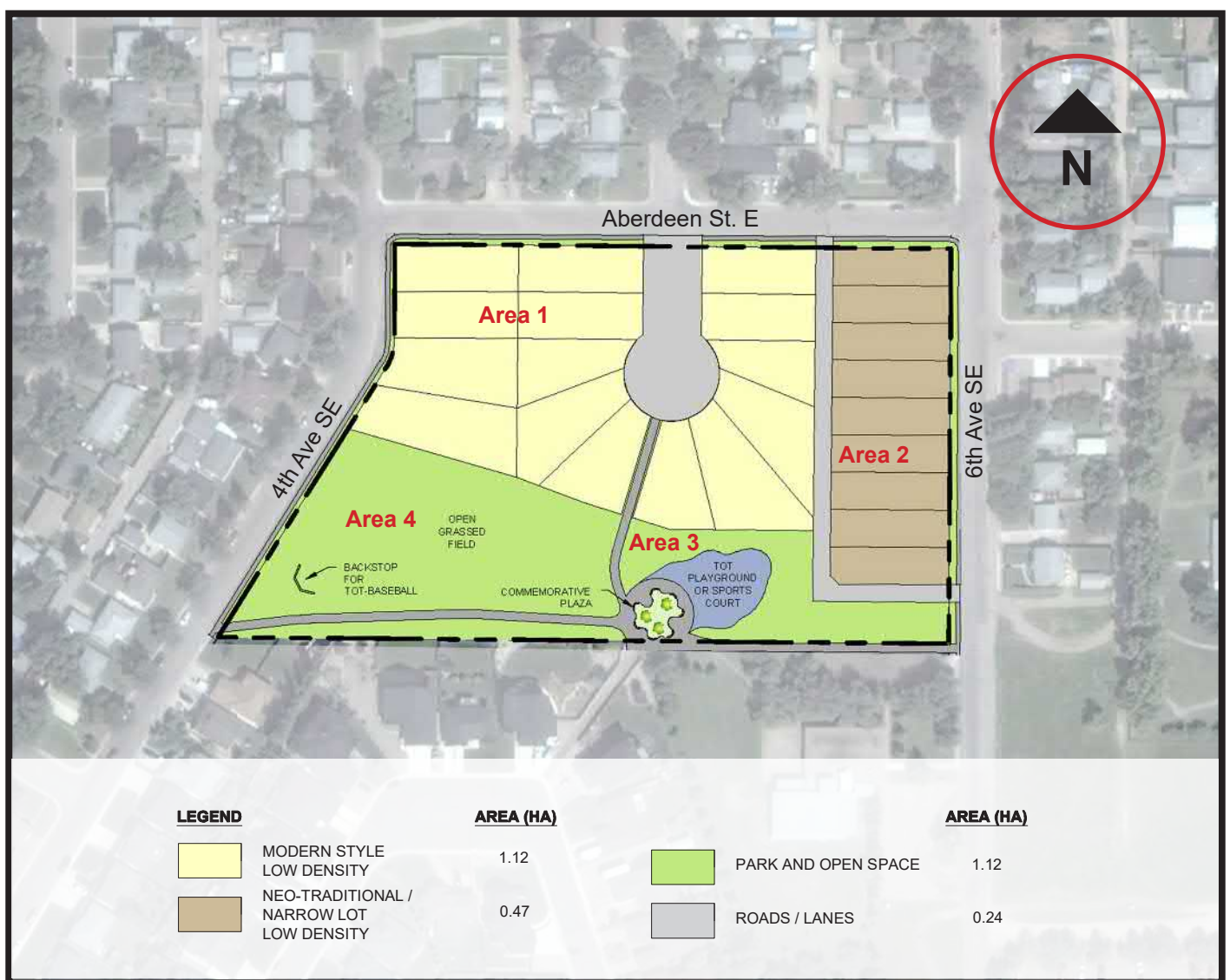
## Welcome

Welcome and thank you for taking the time to check in on the status of the Oman School Site Redevelopment Project. Public engagement workshops were held on March 6th and 7th and were well attended with 46 registered guests over the two days. Using the information gathered from the engagement events the project team has prepared a conceptual layout for the site. The conceptual layout has been included below in addition to a description highlighting key points about the proposed development.

## Project Timeline



## Preliminary Concept Plan



## Land Use Overview

### Housing: (Areas 1 & 2)

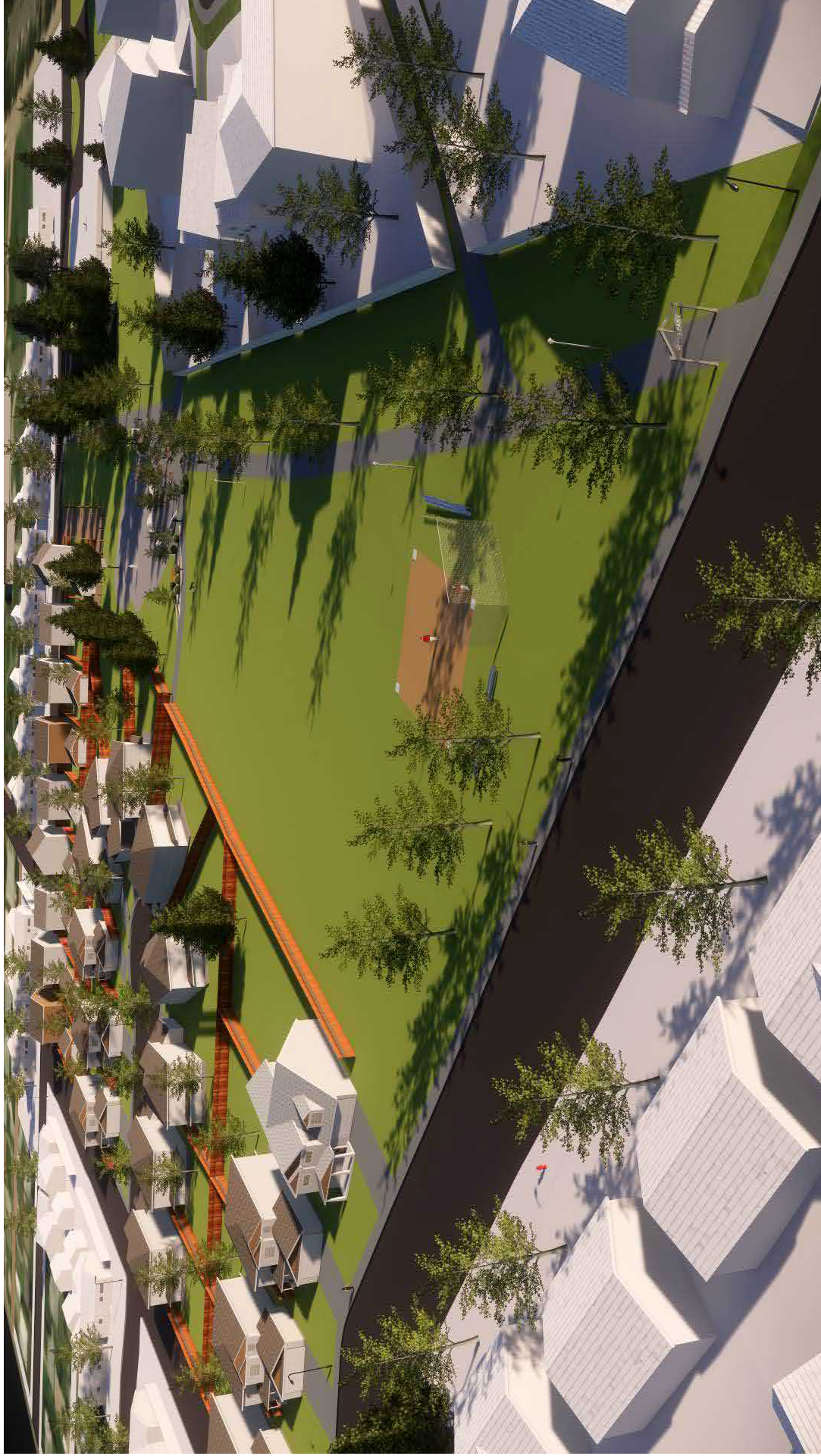
- Housing is proposed for the site which is consistent with the adjacent forms both in terms of dwelling types and style.
- 15 modern style houses have been included in the plan situated along 4th Ave SE, and around an internal bulb extending from 5th Ave SE into the plan area. (Area 1)
- 9 Neo-traditional style houses with rear garages have been included in the plan with frontage along 6th Ave SE. (Area 2)

### Parks and Open Space: (Areas 3 & 4)

- 1.12 Hectares of park and open space has been retained and serves as a transitional buffer between the proposed residential housing and the higher elevation housing bordering the site to the south.
- An internal trail network has been included in the plan providing a logical system of navigation and connectivity to other areas including the Chinook Parkway.
- A large open space area has been included to provide the opportunity for a variety of activities including but not limited to pick-up sports, kit flying, dog walking and social gathering. This also features an enhanced tot-baseball pitch. (Area 4)
- The parks and open space include a commemorative area in honor of the Oman family who had originally donated the site to the community. This area has been designed to include a tot park and playground, basketball court and social gathering area. (Area 3)

Thank you for taking the time to keep up to date with the Oman School Site Redevelopment Project. We look forward to seeing you at the open house. Details regarding time and location of the open house will be made available through the City's website.

# Welcome to the Oman School Site Redevelopment Open House

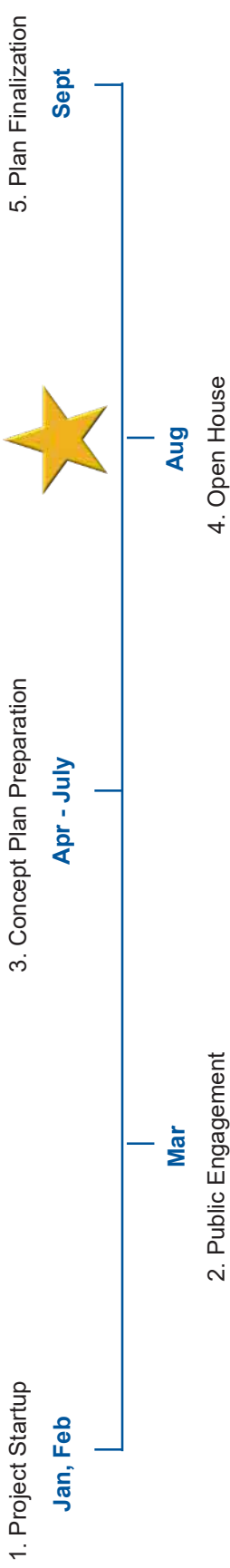




# What is a Concept Plan?

A concept plan is a land use and infrastructure servicing plan prepared to support the future subdivision and development or redevelopment of a site. *The Planning Development Act, 2007*, provides a municipality with the ability to require concept plans to be prepared as part of the land development process. In 2015, the City of Swift Current published a Developer’s Guide for Preparing Concept Plans which sets out the required content and process associated with preparing concept plans. Concept plans consider the form, density and distribution of land uses in relation to existing development in an area and establishes conceptual servicing schemes for the site as it relates to existing municipal infrastructure capacities.

## Steps for the Oman School Site Redevelopment Concept Plan



Currently, we are on Step 4 of the process which is the public open house. This step is intended to provide an opportunity for the project team to meet with the public and introduce the preliminary concept plan. The input received from this event is intended to be documented and incorporated as part of the final report submission.

Proceeding to Step 4 has required Steps 1 through 3 to be completed which involved the project startup, public engagement, and preparation of the preliminary concept plan drawing and report. The following display boards are intended to provide the attendees with an understanding of the process used to create the preliminary concept plan and identifying what steps remain following this open house.

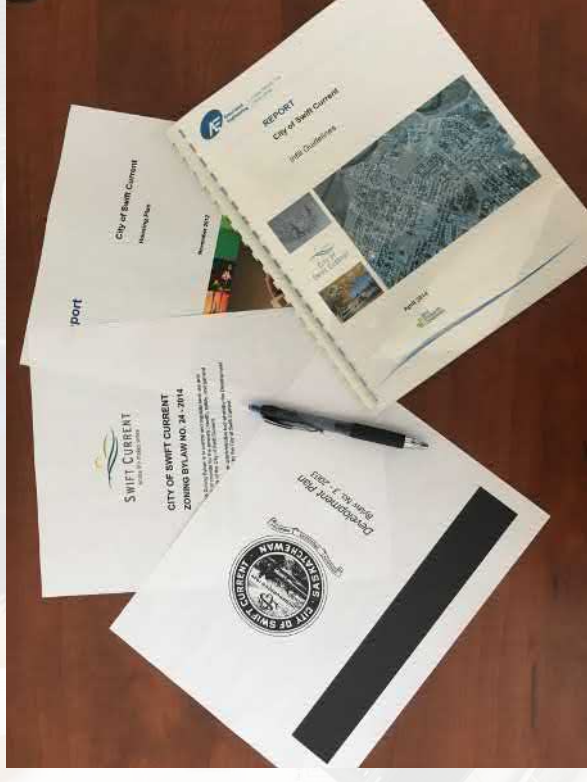
# Step 1: Project Startup

Step 1 of the project required reviewing the City's guiding documents to provide the overall direction for the project. These guiding documents include:

- The City of Swift Current Development Plan No. 3 – 2003
- The City of Swift Current Zoning Bylaw No. 24 – 2014
- The City of Swift Current Housing Plan 2012
- The City of Swift Current Infill Guidelines 2014
- The City of Swift Current Servicing Master Plan
- The City of Swift Current Developer's Guide for Preparing Concept Plans 2015

A few key policies and points from these guiding documents which influenced decisions for the draft Oman School Site Redevelopment Concept Plan consist of:

- Target density of 10.5 units per hectare
- Ensure development occurs contiguously, and makes efficient use of municipal services and community infrastructure
- To encourage rehabilitation, redevelopment and infills
- To support infill residential development on vacant or underutilized parcels
- To ensure orderly, contiguous development and efficient use of residential lands
- To provide an adequate supply of residential housing types, lots sizes and densities
- Large site infill typically 1.5 hectares or greater in size
- Large site infill developments are required to include an affordable housing component
- Low density residential infill is supported in proximity to local roadways
- Initiate planning of the six identified infill sites following closure of the facilities
- To support a mixture of housing product
- To support development that targets specific demographics including first time home owners
- Mix of housing types and density in mature areas
- Preserve the mature trees, where possible
- Protect the stability of single family areas
- Animated and secure public streets and open spaces
- Minimize vehicular traffic and parking impacts
- To secure improvements to the existing mature areas of infrastructure as part of redevelopment
- Additional housing opportunities



# Step 2: Public Engagement

The second step in the process involved the engagement of the City Administration and local residents in a series of design workshops to establish an initial vision for the site. The engagements took the form of workshops where the project team gave a brief presentation before a series of questions were discussed in group settings. A series of sketches were produced from these engagements and used as a starting point in the design process. The images below are reproduced sketches from these workshops.



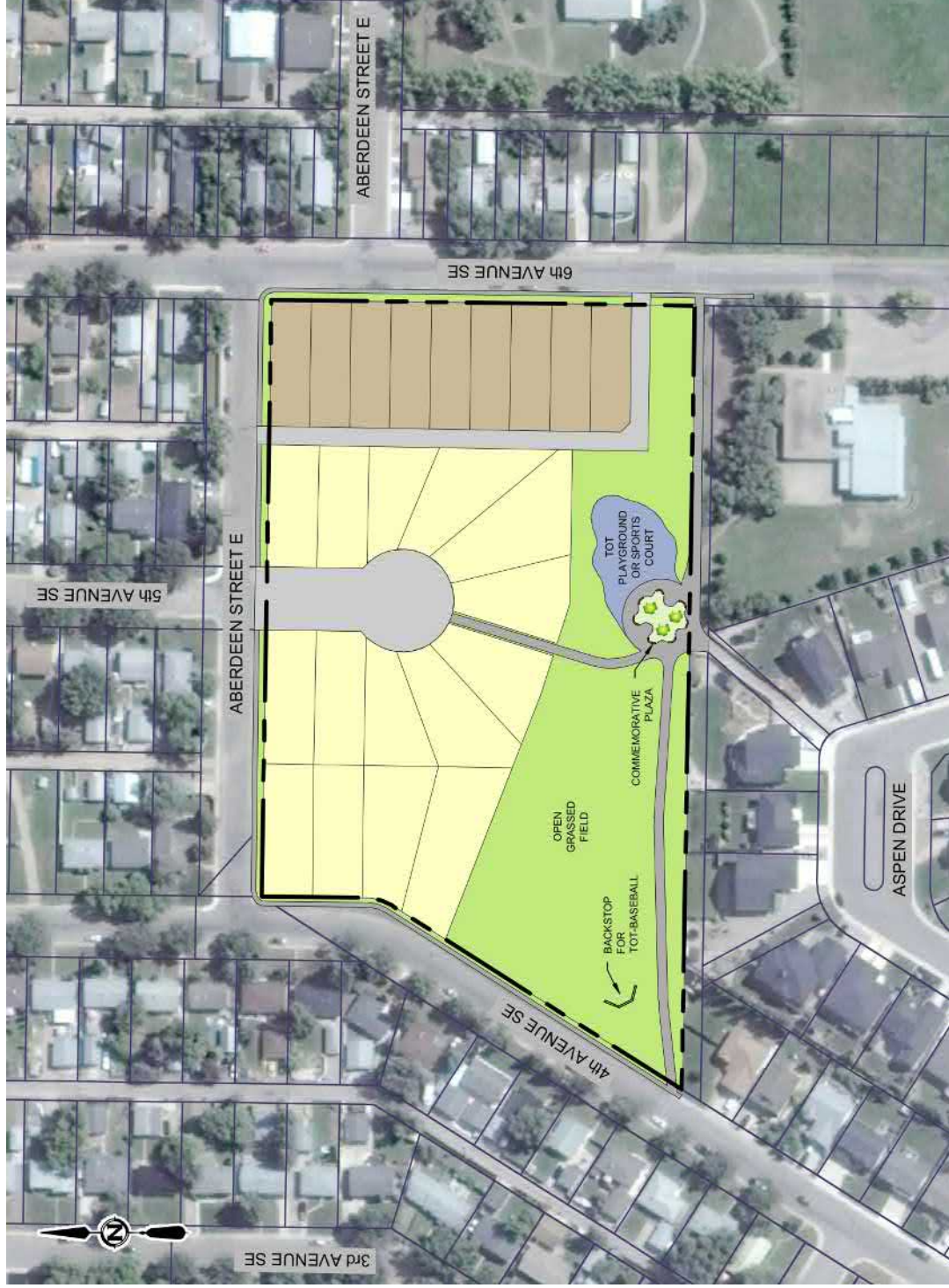
# Design Considerations

Following the first two steps of the Oman School Site Redevelopment Project, the project team drafted 8 design considerations for the redevelopment of the site. These design considerations are as follows:





- To redevelop a portion of the school site for residential purposes.
- To maintain recreational park space for active and passive recreational opportunities.
- To maintain housing types and styles that are consistent with the adjacent community.
- To integrate a network of trails through the open space area which provides connectivity to the Chinook Parkway.
- To provide a transitional space between the planned residential houses and the higher elevation houses along the southern boundary.
- To create an internal park space that is visible by individuals passing through the area.
- To develop a multi-functional park space providing a wide range of activities for guests to enjoy.
- To provide a commemorative feature highlighting the Oman Family.

These design considerations were used to inform the overall layout of the Oman School Site Redevelopment Land Use Concept Plan.

# Step 3: Draft Oman School Site Redevelopment Land Use Concept



**LEGEND**

	MODERN STYLE LOW DENSITY
	NEO-TRADITIONAL / NARROW LOT LOW DENSITY
	PARK AND OPEN SPACE
	ROADS / LANES

# Draft Concept Plan Drawing Perspectives



## Modern Style Low Density Housing

- There are 15 lots planned for a modern style housing product similar to the houses south of the plan area.
- These 15 lots provide a variety of shapes and sizes from 0.05 hectares (0.16 acres) to 0.10 hectares (0.32 acres).
- The proposed lots dimensions vary from 16+ metres wide x 37+ metres deep with some depths reaching up to 47 metres.
- Off-street parking will be accommodated through direct access to the frontage road for the construction of a driveway.
- Lot shapes range from rectangular to irregular which provide opportunities for the introduction of different housing styles.



## Neo-Traditional / Narrow Lot Low Density Housing

- There are nine single-unit housing lots proposed for neo-traditional or narrow lot housing.
- These lots are a rectangular shape and sized at 0.05 hectares (0.16 acres).
- There lot dimensions are 12.8 metres wide x 40.6 metres deep.
- These nine lots provide a similar housing style as the war time houses on the east side of 6th Avenue SE.
- They will have a rear lane for off-street parking which is similar to the existing built area.
- This type of housing will also provide the opportunity to introduce an affordable style of home for young families or professionals looking to locate in a more mature area of the City.

# Draft Concept Plan Rendering Perspectives

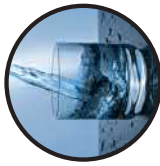


## Parks and Open Space

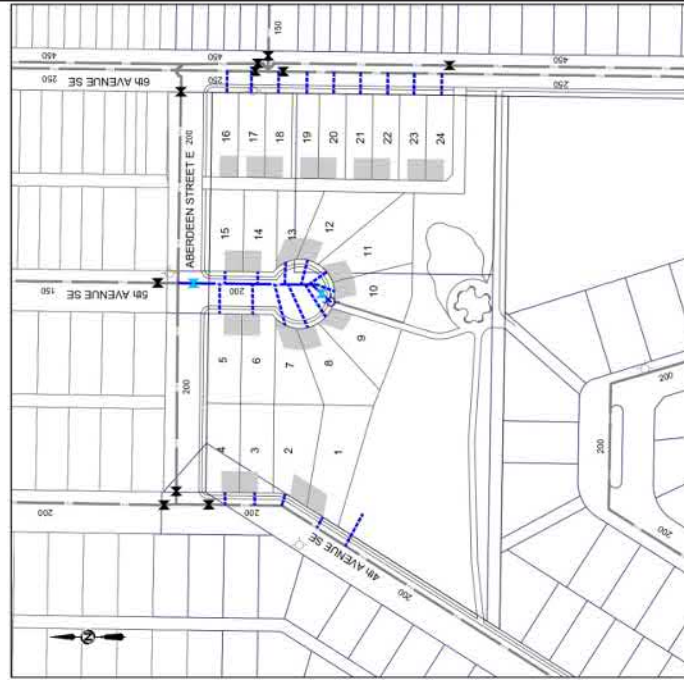
The lands provided for open space in the Oman redevelopment plan may be developed for a variety of uses such as;

- a new tot-park with associated playground facilities;
- a basketball court or other sport court;
- a new tot-baseball backstop and player benches;
- an asphalt surfaced pathway along the south side of the plan area from 4th Avenue SE to 6th Avenue SE with an extension running north connecting to 5th Avenue SE;
- two arch park entry signs are proposed into the Oman Park along the east and west pathway entrances; and
- a commemorative gathering area centrally located in honor of the Oman families contribution to the City which will include trees and vegetative features with benches or picnic tables for the benefit of residents.

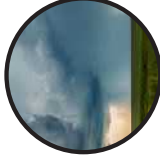
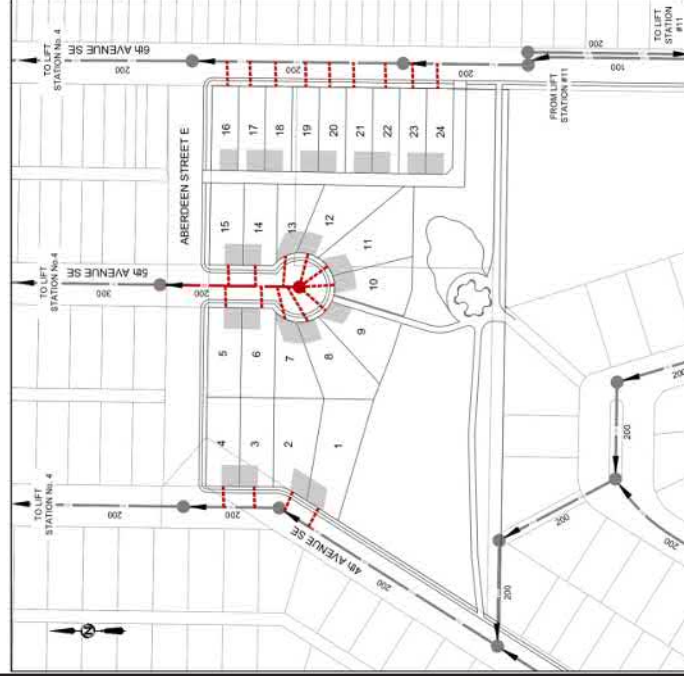
# Proposed Servicing for the Oman Concept Plan



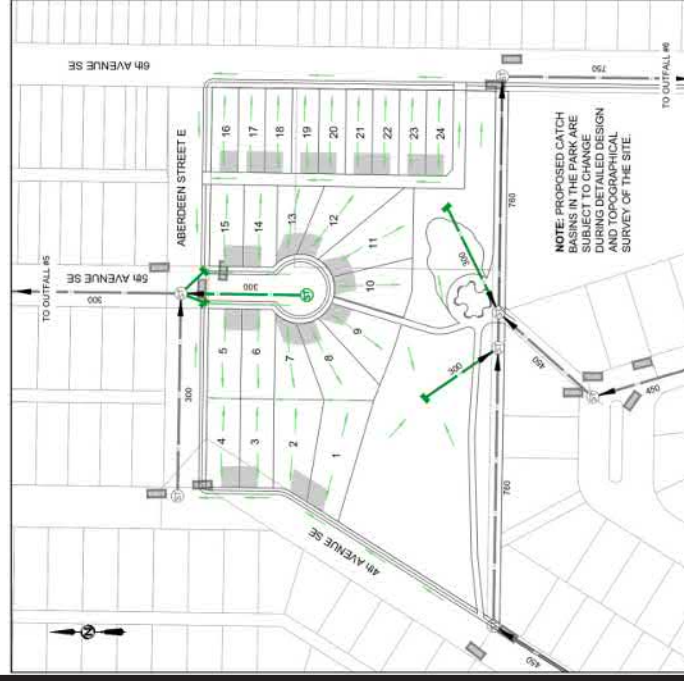
Water Distribution System



Wastewater Collection



Storm Drainage System





# Step 5: Plan Finalization / Next Steps

## Plan Refinement / Final Report

Information received as a result of this event will be used by the project team to inform any additional design revisions necessary prior to finalization of the draft report.

## Final Administrative Review

The final draft concept plan and accompanying report will be submitted to the City Administration for a final review. This submission will include identification of any recommended plan revisions following this public event. Following an administrative review of the plan and report, final edits will be completed and the documents will be ready to be submitted to City Council for consideration.

## Implementation

It is expected the concept plan will be considered for adoption by resolution of Council as per the City's Developers Guide for Preparing Concept Plans. Following Council's consideration, if approved, the concept plan will be used by the City as a guide for development of the site.

If a change is proposed to the approved concept plan, it will be subject to the amendment process as defined in the City's Developers Guide for Preparing Concept Plans. This process requires the submission of an application to the Planning and Growth Development Department outlining the proposed changes. The City's Development Officer reviews and determines if the change is considered minor or major. A minor change is required to be reviewed and is subject to approval by the Development Review Committee which includes leaders from various municipal departments. A major change is considered an amendment to the plan which requires a complete restart of the process followed to create the current plan including a submission to the City for review, additional public engagement, and reconsideration by City Council.

For this concept plan, a major change will be defined as follows:

- Any changes to land use(s) classification;
- A 10 % or greater increase in residential density;
- A substantial change to the physical layout (may require supporting studies); and
- A significant change that may impact an existing or adjacent neighborhood.

If the proposed change meets one of these four listed criteria, it will be considered major. For example, if the plan changes and an apartment building is proposed, it would require the site to be rezoned to accommodate the use and the change would be considered major.

If the change does not significantly impact the existing or adjacent neighborhood, circulation, or infrastructure servicing plans then the change is considered minor. For example, if the plan is to reconfigure the internal road design by not extending the cul-de-sac into the park space and not impacting the surrounding site, the change would be considered minor.

**Oman and Ashley Park School Redevelopment Concept Plan**  
**Open House Event**  
**Comment Sheet**  
**August 14th, 2018**

Please circle the school site which you are commenting on:

**Oman**

**Ashley**

1. Are you a resident within one block of the School Site? (Please circle one)

**Yes**

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

**Yes**

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

**Agree**

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

-I like the fact there is housing similar to what is currently in the area. I like that there is a commemorative space for the Oman family, and I love that there is a large green space for the community.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

-Keep the housing affordable!

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

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Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

- Green Space left

- Sight lines left relatively intact

- Playground

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Not a big fan of the "neo-<sup>traditional</sup>~~density~~ low density houses" & Seems to be too many houses on 6th SE.

**Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018**

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**Ashley**

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**Yes**

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2. Did you attend the Public Workshop? (Please circle one)

**Yes**

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

**Agree**

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

*Green space, Playground,*

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

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Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

I like that there is some green spaces. I would like to see more area devoted to basketball courts as they will be used for a longer period of time. I am pleased that it will be commemorating Oman Park. The housing concept is good just don't need to have tall homes.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

The walkpaths on the concept plan concern me, the 3 houses do not need to be flanked on either side by walkpaths. Unless they are lit there can be increased vandalism and <sup>easy</sup> escape routes for thefts.

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

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Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

With one concern.

4. If you Agree, what do you like about the redevelopment concept plan?

- I like the green space & playground.

- I do like the naming of the park after the Oman family.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

- My one concern is on a few of the concept plans it contemplates an additional lane to the site on the NW corner. This would be difficult to suit the current development. It seems this additional lane is unnecessary to create access as there is already one there houses to the East. Don't want any additional lane ways to watch with recent vehicle breaking. I trust this isn't in the actual final plan.

**Oman and Ashley Park School Redevelopment Concept Plan**  
**Open House Event**  
**Comment Sheet**  
**August 14th, 2018**

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Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

I like that the green space is being left on the south area, closest to the existing houses. I think the cul-de-sac is a nice layout for the space. I am happy to see the space for developing a tot park, and I think a LOT of people would love to have a playground there. Bonus would be a water park. The memorial to the Oman Family would be a nice touch

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

It does seem like a lot of space is being taken up by the basketball court + baseball diamond. This isn't horrible... but perhaps we could make the priority more of an open green space/playground area. I think more families would benefit from these options.

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

Please circle the school site which you are commenting on:

Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes No If no, where in the City do you reside? 3rd AVE S.W.

2. Did you attend the Public Workshop? (Please circle one) Yes No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

AT LEAST IT WILL BRING PEOPLE TO THE SOUTH SIDE.  
INSTEAD OF LOSING PEOPLE AND ALL THE BUSINESSES THAT  
THE SOUTH SIDE HAS LOST, HOW ABOUT DEVELOPING SOME  
NEW LOTS INSTEAD OF DEVELOPING ALL OTHER PARTS OF  
THE CITY FOR A CHANGE.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Empty response box for question 5.



**Oman and Ashley Park School Redevelopment Concept Plan**  
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**August 14th, 2018**

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Oman

Ashley

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Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree +/

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

Like: - Green space - develop few soccer  
- Full basketball court.  
- more attractive layout - cost of losing units.  
- playground area - equipment / spray park!  
- Burms - Hills - create attractive space.  
- lightings - safety / security.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Unlike is - would like to only see one access  
to new area from Aspen as we have big  
issue policing walk way. Thus delete path that  
adjoin Brass / Holiday / Paulus walkway.

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
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Oman

Ashley

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Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

*for the most part ☺*

4. If you Agree, what do you like about the redevelopment concept plan?

I like the green space on the south end of the field. Would really love to see a playground/ spray park as a priority

I like the basketball ~~net~~ but would like to see a full court rather than half court. (see below)

Otherwise I like the layout + concept! Nice work!

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

As the baseball field is only tot size it is really limiting in its use. Currently folks are playing cricket on that field + with only a mini baseball diamond cricket will no longer be an option. I think a soccer field or something that can be used by more people + for a longer season would make more sense ☺

**Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018**

Please circle the school site which you are commenting on:

Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

WHAT ARE THE NEW LOTS GOING TO COST?  
HOW DOES THIS IMPACT MY HOUSE VALUE/LOT?  
WHY DO WE NEED MORE EXPENSIVE LOTS WHEN THE  
GOLF COURSE LOTS ARE NOT SOLD OUT YET  
(ELMWOOD) ~~ELMWOOD~~ (CYPRESS POINT!)  
NEED LOWER HOUSING FOR AVERAGE PERSONS  
WARTIME / BUNGLOW STYLE!

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

Please circle the school site which you are commenting on:

Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

- that theres still usable + attractive green space
- that the style of housing has been maintained ie single family, detached, low density
- ~~that the plan is a good one~~

Looks very good!

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

Please circle the school site which you are commenting on:

Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes  No  If no, where in the City do you reside? West Place

2. Did you attend the Public Workshop? (Please circle one) Yes  No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree  Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

- Rain Swales/gardens
- Community orchard (if you insist on housing)
- Small wattle houses (re: actually affordable & reasonable price)  
(we are in an ecological crisis)
- Composting/wastewater collection
  - ↳ excess goes to water park
  - ↳ re: hamburg train station

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

Please circle the school site which you are commenting on:

Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Remove building lots #1 to #15 and leave as green space  
This is not a reflection of what the general consensus of  
the workshop was. Develop a larger beautiful green space  
for the benefit of all. Public space in the city once lost is  
gone forever. There will always be more land for houses  
along the perimeter of our city. I am very disappointed.

Oman and Ashley Park School Redevelopment Concept Plan  
Open House Event  
Comment Sheet  
August 14th, 2018

Please circle the school site which you are commenting on:

Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

less houses + more green space!  
the green space doesn't look like it's open  
to the general public, but only the residents  
who's land backs onto it.

**Oman and Ashley Park School Redevelopment Concept Plan**  
**Open House Event**  
**Comment Sheet**  
**August 14th, 2018**

Please circle the school site which you are commenting on:

**Oman**

**Ashley**

1. Are you a resident within one block of the School Site? (Please circle one)

**Yes**

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

**Yes**

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

**Disagree**

4. If you Agree, what do you like about the redevelopment concept plan?

→ like basketball court.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

- Do not like that green space is tucked in behind yards and out of visibility of surrounding houses.
- would like to see more green space - looks like will be very little left with so many houses.
- Ideally would like to see less houses, maybe up both + 4th, with middle left for open, lighted, visible green space.



# Oman and Ashley Park School Redevelopment Concept Plan

## Open House Event

Online Comment Sheet Opportunity

August 15th to 31st

Please circle the school site which you are commenting on:

**Oman**

**Ashley**

1. Are you a resident within one block of the School Site? (Please circle one)

**Yes**

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

**Yes**

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

**Agree**

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

I appreciate that there is some green space left for the kids and a reasonable amount of single family housing units. Naming it after the Oman family is appropriate. The following are a few concerns however;

- Would rather have seen basketball area than T-Ball. The courts at the old Oman school were used A LOT. I believe this would have been a better choice.
- Some of the conceptual pictures indicated an additional access path from Aspen Drive on the NW. I really don't think we need another access point to Aspen. This would only serve a handful of houses and save very little walking time at all. That said, my main concern is we have had a tremendous amount of mischief in the area including, but not limited to vehicle break in. We don't need another lane or path for these guys to access and run away at night.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Again,

- Would rather have seen basketball area than T-Ball. The courts at the old Oman school were used A LOT. I believe this would have been a better choice.
- Some of the conceptual pictures indicated an additional access path from Aspen Drive on the NW. I really don't think we need another access point to Aspen. This would only serve a handful of houses and save very little walking time at all. That said, my main concern is we have had a tremendous amount of mischief in the area including, but not limited to vehicle break in. We don't need another lane or path for these guys to access and run away at night.

6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.

I feel the planning captured much of the discussion and am generally happy, but do have the one suggestion (basketball) and the one concern about the additional pathway which is not logical or wanted.

**Oman and Ashley Park School Redevelopment Concept Plan**  
**Open House Event**  
**Online Comment Sheet Opportunity**  
**August 15th to 31st**

**Please circle the school site which you are commenting on:**

**Oman** Ashley

1. Are you a resident within one block of the School Site? (Please circle one)  
Yes **No** If no, where in the City do you reside? Burke Crescent
2. Did you attend the Public Workshop? (Please circle one) Yes **No**
3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)  
**Agree** Disagree
4. If you Agree, what do you like about the redevelopment concept plan?

I appreciate the opportunity to provide input before any decisions are made. I was unable to attend the public meeting.

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?



6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.

There are many seniors in Swift Current looking to downsize, but condo prices are far too expensive...currently. Please consider in your plan the development of single level condos with garages that DO NOT cost 600,000 dollars. Other cities have affordable condos....I cannot figure out why we do not.

Many of us want to continue to live on the Southside.

# Oman and Ashley Park School Redevelopment Concept Plan

## Open House Event

### Online Comment Sheet Opportunity

August 15th to 31st

Please circle the school site which you are commenting on:

**Oman**

**Ashley**

1. Are you a resident within one block of the School Site? (Please circle one)

Yes **No** If no, where in the City do you reside? 200 block of 6th Ave SE

2. Did you attend the Public Workshop? (Please circle one)

Yes

**No**

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

**Disagree**

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

I think it should be kept as a green space.

6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.

Empty response box for comments and suggestions.



# Oman and Ashley Park School Redevelopment Concept Plan

## Open House Event

### Online Comment Sheet Opportunity

August 15th to 31st

Please circle the school site which you are commenting on:

**Oman**

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

**Yes** No If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one) **Yes** No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

**Agree** Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

This plan looks very much like what we in the neighbourhood had proposed, an area incorporating a park/games/play area to be useful to the neighbourhood. The arrangement for the housing, especially along the north and northwest areas, seems to follow the unique contour of this irregular "block". I just hope the drainage system proposed will be adequate for the possible deluges we sometimes experience: there will have to be quite a bit of creative landscaping on the south end of the block to compensate for the existing high ground south of the walkway. We are also happy to see that the walkway is going to part of the plan, as it is a necessary part of the overall plan for the block. Thank you to the developers for listening to the concerns of us who live in the neighbourhood. We were impressed with the courtesy and sincerity of the team as we expressed our ideas. Koodoes to the Team!

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.



# Oman and Ashley Park School Redevelopment Concept Plan

## Open House Event

### Online Comment Sheet Opportunity

August 15th to 31st

Please circle the school site which you are commenting on:

Oman

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes  No If no, where in the City do you reside? macoun drive

2. Did you attend the Public Workshop? (Please circle one)

Yes

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Again, my comments fell on deaf ears. I suggested handicapped accessible housing in one of those areas and the council has approved "single family dwellings". It is hard enough for a person in a wheelchair to find a place to live. But now when the opportunity arises and areas are available to provide housing for people in wheelchairs to become independent enough that they can leave a long term care facility and move into an accessible unit, the idea is to again build single family units. I would like to again state my comments that handicap housing is a need here. Unless these people are able to buy their own home and have them modified, they are forced into long term care units like the Meadows. They need their own development like the SILC building in Regina where they can have their independence, have a care aide/companion live with them and still maintain some form of independence. Otherwise, they are forced into going into places where there are people with Alzheimer's and Dementia, etc. or to live with family who cannot look after them and have to work. I don't see why the city feels a need to cater to "single family dwellings" when there is a need for handicap accessible housing.

6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.

Again, handicap accessible housing built to accommodate larger wheelchairs, etc. is a definite need. Keep our long term care places available for the elderly so there is not such a long wait list and get the ones in wheel chairs into an independent living area where they can have some form of humanity given to them and not stick them into long term care places where they are taking up spots that someone else could be using.

# Oman and Ashley Park School Redevelopment Concept Plan

## Open House Event

### Online Comment Sheet Opportunity

August 15th to 31st

Please circle the school site which you are commenting on:

**Oman**

**Ashley**

1. Are you a resident within one block of the School Site? (Please circle one)

**Yes**

No

If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one)

**Yes**

No

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

**Disagree**

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

Too many houses

6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.

Empty response box for comments and suggestions.



# Oman and Ashley Park School Redevelopment Concept Plan

## Open House Event

### Online Comment Sheet Opportunity

August 15th to 31st

Please circle the school site which you are commenting on:

**Oman**

**Ashley**

1. Are you a resident within one block of the School Site? (Please circle one)

**Yes** No If no, where in the City do you reside? \_\_\_\_\_

2. Did you attend the Public Workshop? (Please circle one) Yes **No**

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree **Disagree**

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

More trees and green space with multiple options for outdoor activities (out door gym, basketball court & play structure). Would also like to see gazebo style shelter for public gathering and bbq facility & an amphitheatre that could be used as a summer stage and converted to a winter rink.



6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.

Additional single family homes with options of mixed use condo towers with ground floor retail and underground parking. Make it a community that is leading in environmental stewardship and walkability with focus on leed design construction and environmental sustainability.

**Oman and Ashley Park School Redevelopment Concept Plan**  
**Open House Event**  
**Online Comment Sheet Opportunity**  
**August 15th to 31st**

**Please circle the school site which you are commenting on:**

**Oman**

**Ashley**

1. Are you a resident within one block of the School Site? (Please circle one)

Yes **No** If no, where in the City do you reside? Highland

2. Did you attend the Public Workshop? (Please circle one) Yes **No**

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

**Agree** Disagree

4. If you Agree, what do you like about the redevelopment concept plan?

More housing development while still reserving green space

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?



6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.



# Oman and Ashley Park School Redevelopment Concept Plan

## Open House Event

### Online Comment Sheet Opportunity

August 15th to 31st

Please circle the school site which you are commenting on:

**Oman**

Ashley

1. Are you a resident within one block of the School Site? (Please circle one)

Yes **No** If no, where in the City do you reside? Aitken Place

2. Did you attend the Public Workshop? (Please circle one)

Yes

**No**

3. Do you Agree or Disagree with the redevelopment concept plan layout? (Please circle one)

Agree

**Disagree**

4. If you Agree, what do you like about the redevelopment concept plan?

5. If you Disagree, how do you feel the redevelopment concept plan can be improved?

I believe the Oman or St. Pats site could be used as an extension of the existing Market Square. I understand the revitalization on the downtown core, but Market Square is getting crowded, the traffic is abhorrent and the parking is practically non-existent. Market Square could be expanded to include the South side, perhaps if the Oman lot is too far, the old St. Pats area could be made into an area that'll allow for the overflow of Market Square Kiosks and some larger food trucks/kiosks. As a south side resident, I feel we could utilize the old school sites better than just plugging houses in. Perhaps the city could even put in a mini golf area that's connected with the Chinook golf course, or a south side skate/bmx bike park.

6. Please share any additional comments or suggestions regarding the draft School Site Redevelopment Concept Plan.

**APPENDIX B - SERVICING FIGURES**